



# **CITY OF CONWAY, ARKANSAS HISTORIC DISTRICT COMMISSION**

June 24, 2024 • 5:30pm • 1111 Main Street





# City of Conway

## HISTORIC DISTRICT COMMISSION

June 24, 2024

### MEMBERS

Emily Walter, Chairman  
Liz Hamilton, Vice-Chairman  
Jenny Davis, Secretary  
Marianne Black  
Josh Hamilton  
Nathaniel Johnson Jr.  
Corey Parks

**Call to Order.**

**Roll Call.**

**Approval of Minutes.** March 25, 2024; April 22, 2024; May 29, 2024

### I. Public Hearing Items - Old Conway Design Overlay District

- A. 1704 College Ave (HDR-0624-0083)
- B. 2156 Prince St (HDR-0624-0081)
- C. 504 Monroe St (HDR-0324-0038)

### II. Additional Business

- A. Items as decided by the Commission

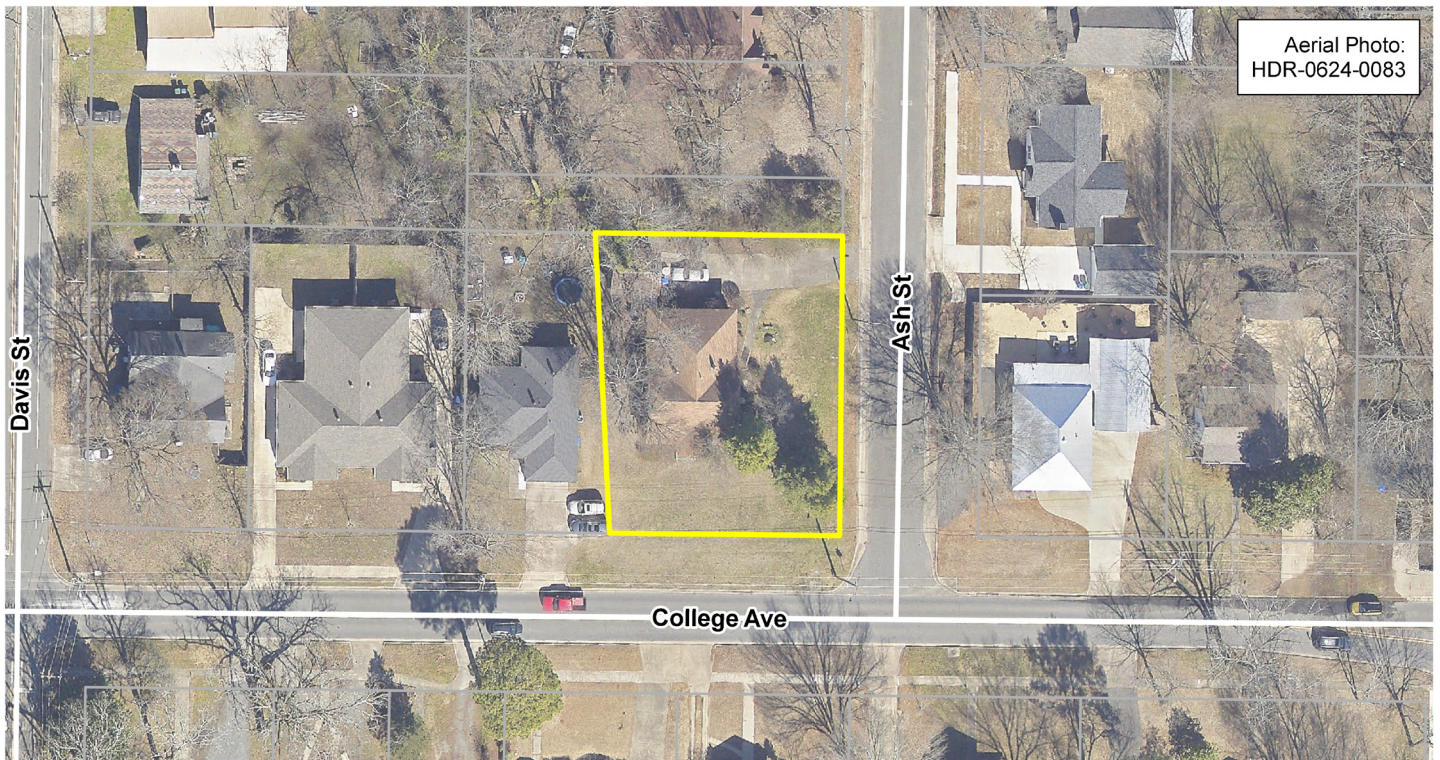
**Adjourn.**

**APPLICANT/OWNER**

Byron Ford  
1704 College Ave  
Conway, AR 72034

**DESIGN PROFESSIONAL**

Steve Hurd

**SITE DATA**

**Address** 1704 College Ave

**Present Zoning.** R-2A (Two Family Residential District), Old Conway Design Overlay (OCDOD) Suburban District.

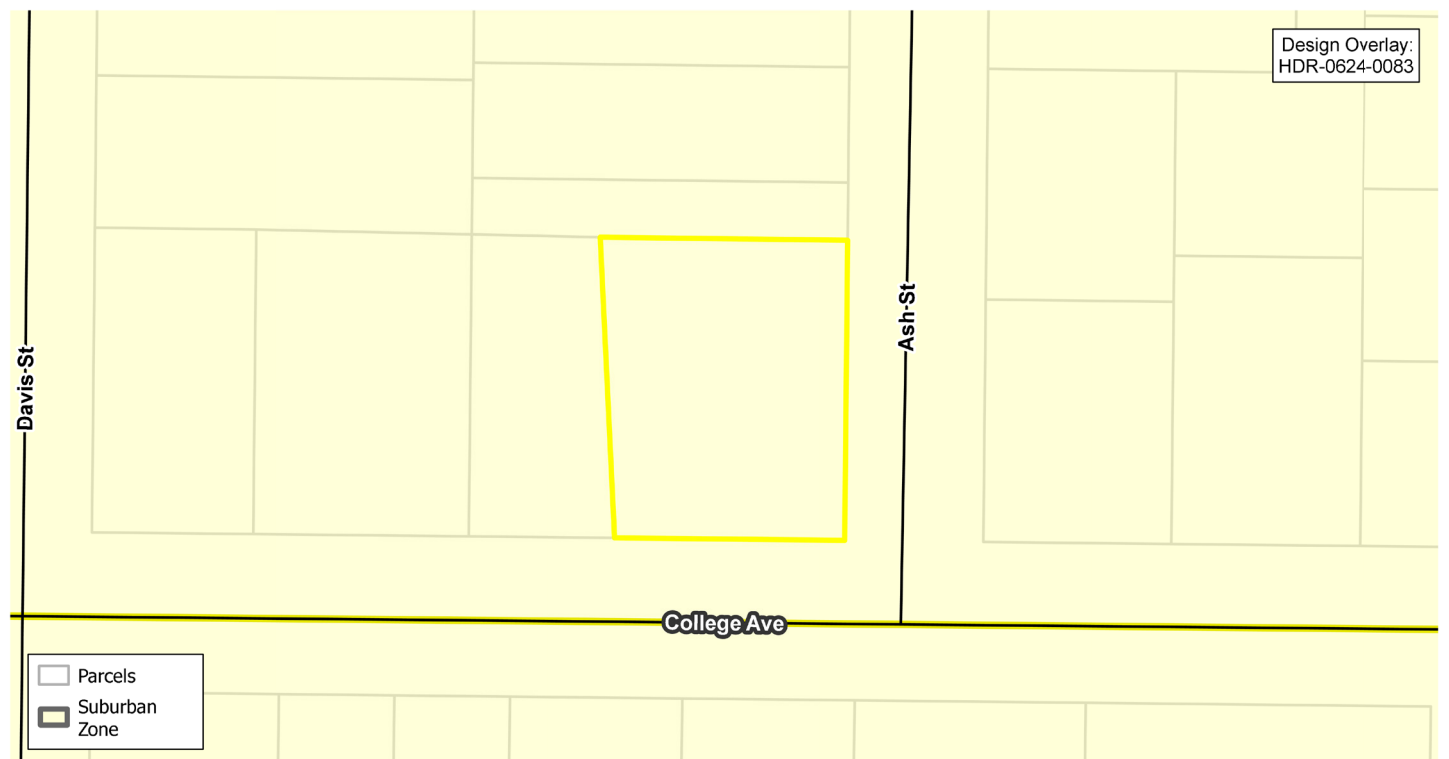
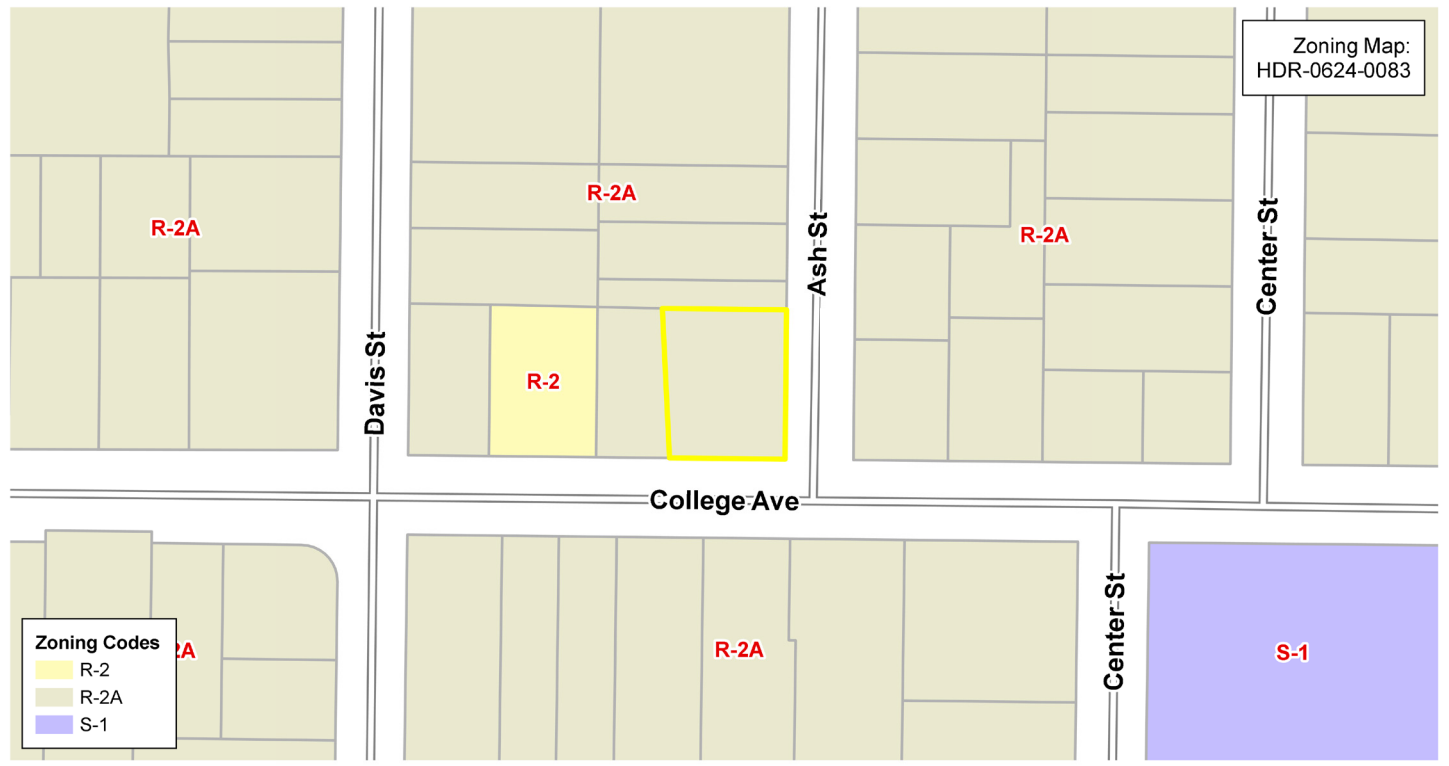
**Abutting Zoning.** North/South/East/West: R-2A (Two Family Residential District), OCDOD Suburban District.

**Lot Area.** 0.31 acres  $\pm$ .

**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay Suburban District on the northwest corner of Ash St and College Ave. Area structures consist of a mix of single-family homes in Craftsman, Gable Front-and-Wing, American Foursquare, Tudor Revival, minimal traditional, and contemporary styles.

**General Description of Property and Proposed Development.** The application is proposing to construct a new 391 sf storage/shop with a 575sf carport. Also proposed is new decking and roofing on an existing concrete patio. The existing residence was built in 1930 and an Italianate design.





**Setbacks.** Front setbacks are allowed within a range of 85% to 115% of the average front setback of the area. Secondary Front (adjacent to street) is 8 feet minimum. Side setbacks in all residential zones are 6 feet and rear are 5 feet (per fire code).

*The addition is 5ft from the rear and 6ft from the side.*

**Spacing.** Spatial relationships among existing buildings on a block and neighborhood suggest an appropriate width and spacing for new construction in the area.

*The proposal conforms.*

**Lot Coverage.** Lot coverage for all impervious surfaces shall be less than 60%.

*The proposal conforms.*

**Garages/Outbuildings.** Garages should be placed at the rear of the lot. When lot depth prevents a rear placement, the garage may be placed at the side of the structure along the back half of the structure. Two and three car garages should be placed at the rear of the lot in a detached structure.

*The proposal includes the carport at the rear of the lot.*

**Driveway / Parking.** Parking in the front yard is not permitted. Parking is to be placed at the rear or side. Driveways should be concrete, pavers, or permeable paving and sharing of driveways is encouraged.

*There is an existing concrete driveway at the rear of the property, accessed from Ash St. It will be extended to the proposed carport and terminate at the shop/storage building.*

**Tree preservation.** Any trees over 8" in diameter or great must be protected and preserved. Canopy trees shall be required for each 30' of street frontage.

*It does not appear that any significant trees will be impacted by construction.*

## **MASSING**

**Scale.** The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

*The scale of the proposed structure is compatible with the overall scale of structures in the surrounding area.*

**Height/Width/Directional Expression.** The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

*The proposed carport/storage area relates to the height of other accessory structures in the area and continues the existing directional expression of the existing residence.*

**Footprint.** The structure should respect the ratio building footprint to lot area of homes within the general vicinity.

*The proposal conforms.*

**Complexity of form.** New construction shall relate to the complexity of the majority of neighboring buildings in the area.

*The structures will contain a level of detailing and form that is compatible with the patterns of the area as it is designed to complement the existing residence including painted columns and painted brick accents.*

**Façade, wall area, rhythm.** New facades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

*The proposal provides additional wall breaks with doors and attic vents which enhances the wall area rhythm.*

## **DESIGN ELEMENTS**

**Style.** New design should respect the context of the area while expressing the contemporary nature of the structure.

*The surrounding area does not have a cohesive theme of styles. The proposal complements the existing Italianate style.*

**Entries, Porches, and Porticos, Doors and windows, Awnings.** Porches are encouraged and should be at least 6' deep, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntin bars are not permitted.

**Entries, Porches, and Porticos, Doors and windows, Awnings.** Porches are encouraged and should be at least 6' deep, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntin bars are not permitted.

*The existing concrete patio will be enhanced with a gabled roof. It is 10' deep. Decorative elements are present in terms of lap siding and painted columns.*

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.  
*No lighting is shown on the proposed plans.*

#### **MATERIALS AND DETAILING**

**Architectural Details, Siding, and Bricks.** Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardieboard/LP Smartside type siding.

*The applicant is proposing a wood frame structure, Hardie plank siding and a shingle roof.*

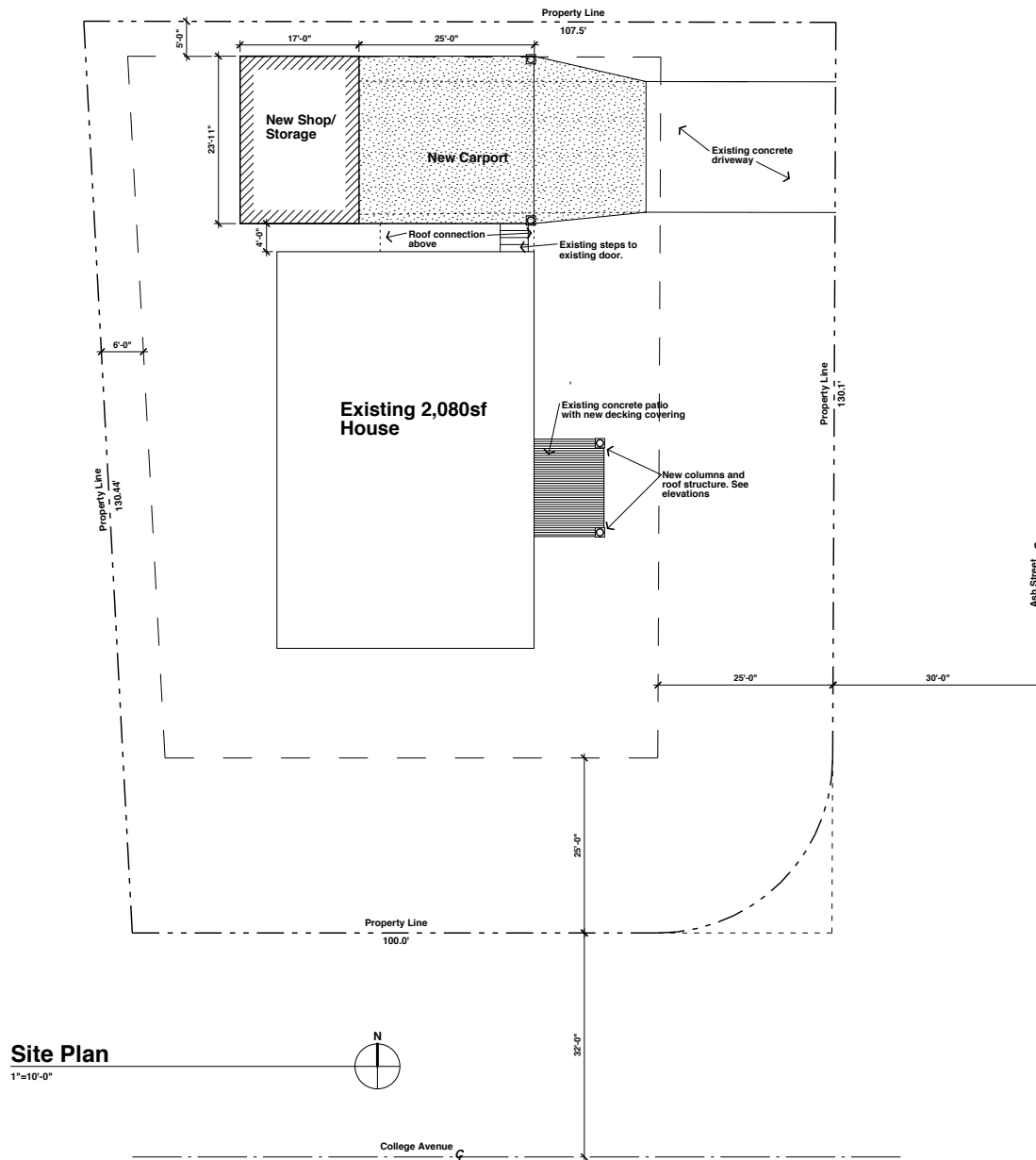
**Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening.** Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

*The applicant is proposing a gable roof with asphalt shingles. This is compatible with the existing residence and surrounding homes.*

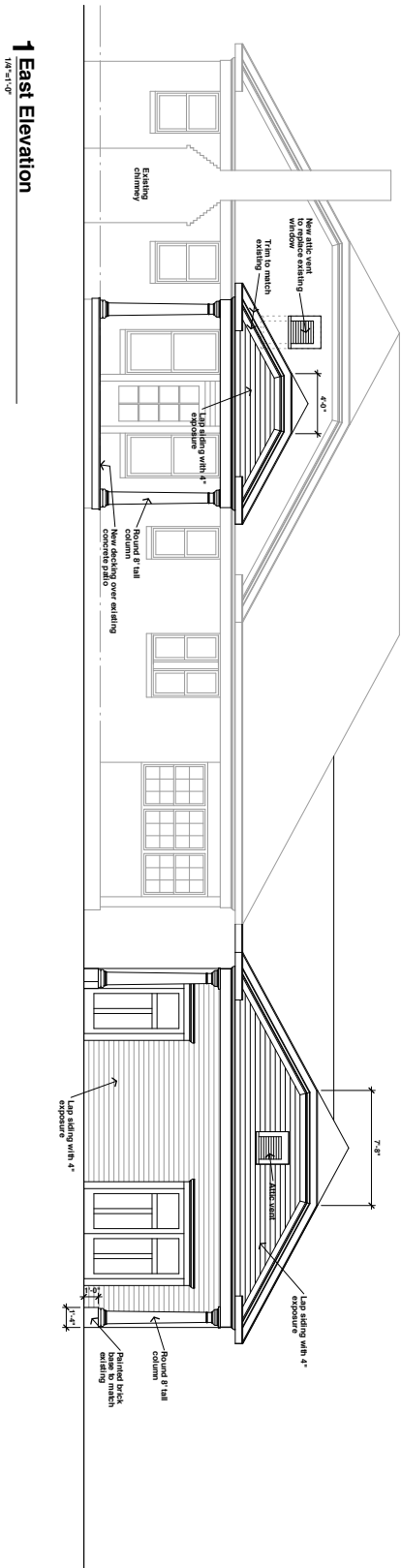
#### **RECOMMENDATIONS**

Staff recommends approval of the request with the following conditions:

1. Applicant must obtain all applicable building permits\* if/when a Certificate of Appropriateness is granted.  
*\*Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*
2. Lighting shall be downward and inward toward the property.
3. Construction shall conform to the attached site plan and elevations.
4. Significant trees over 8" shall be protected. Should any trees need to be removed they shall be replaced at a 1:1 ratio with a tree from the approved tree species list.
5. Driveway shall be concrete ribbon, or permeable pavers.



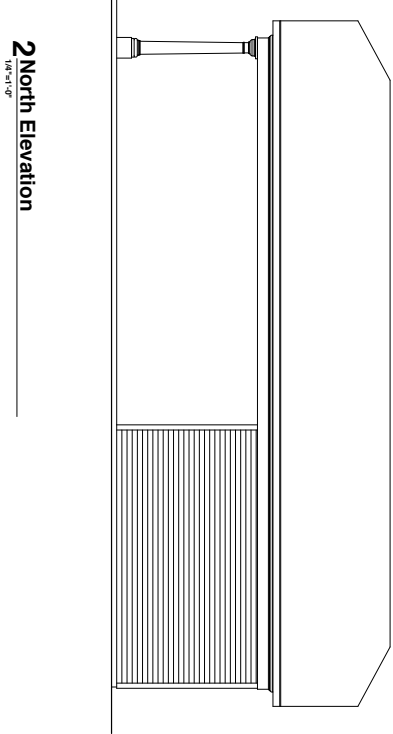
1 East Elevation



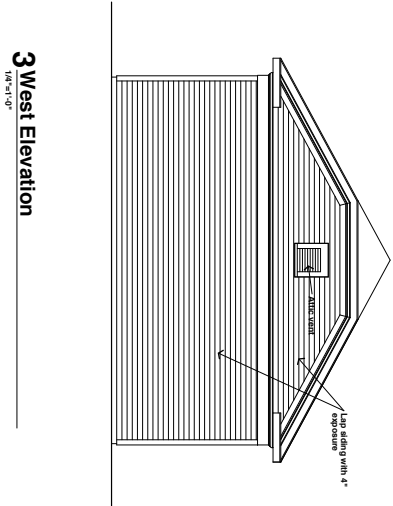
Notes:

1. Contractor to establish all existing dimensions and conditions with new work.
2. All new trim to match existing in dimension and profile.
3. New clipped gable roof to match existing slope, estimated existing slope is 6 1/2:12. Field verify.

2 North Elevation



3 West Elevation







View of subject property from College Ave facing N



View of subject property from Ash St facing W



View of proposed carport location from Ash St facing W



Adjacent property to the E across Ash St

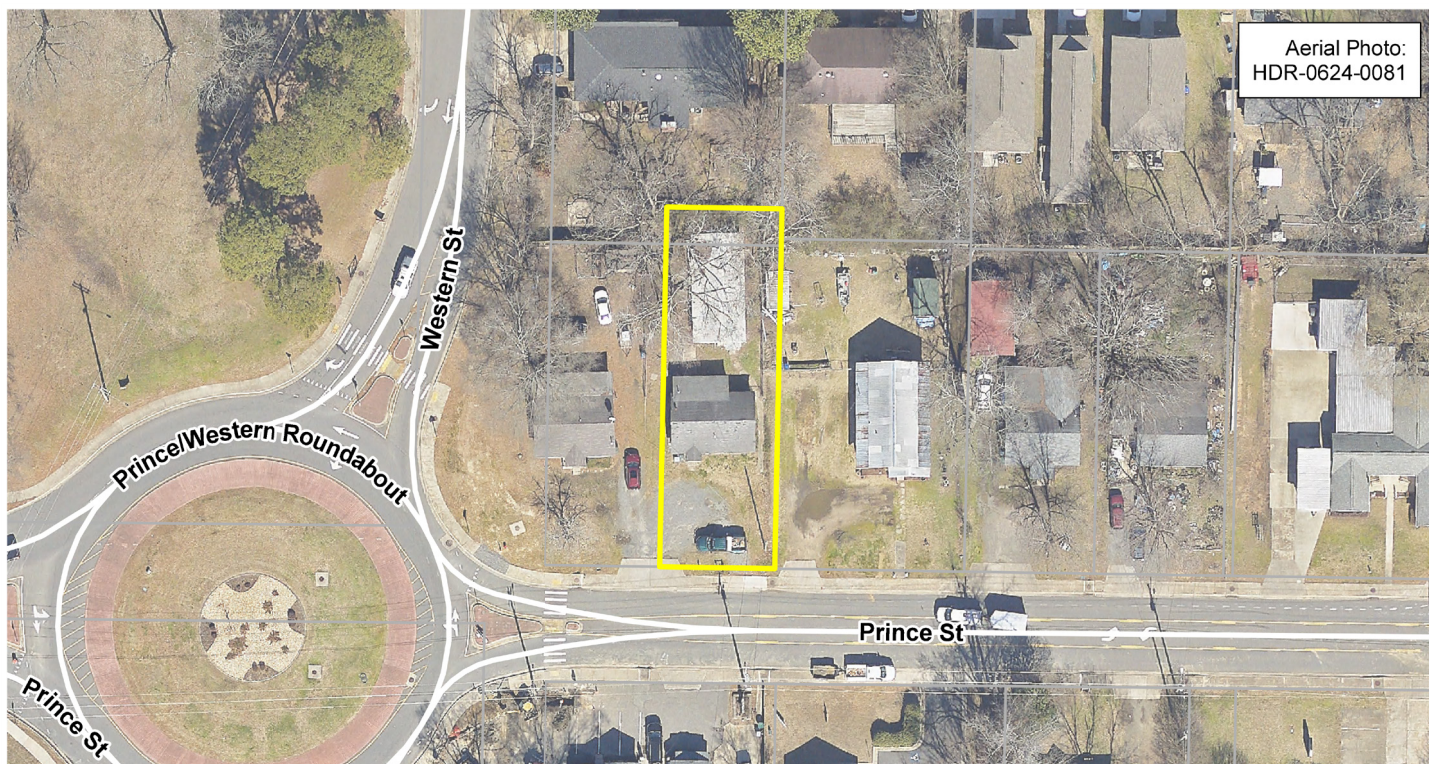


Property adjacent to the S across College Ave



### **APPLICANT/OWNER**

Niki Thompson  
Storybook Renovations, LLC  
831 Faulkner St  
Conway, AR 72034



### **SITE DATA**

**Address.** 2156 Prince St.

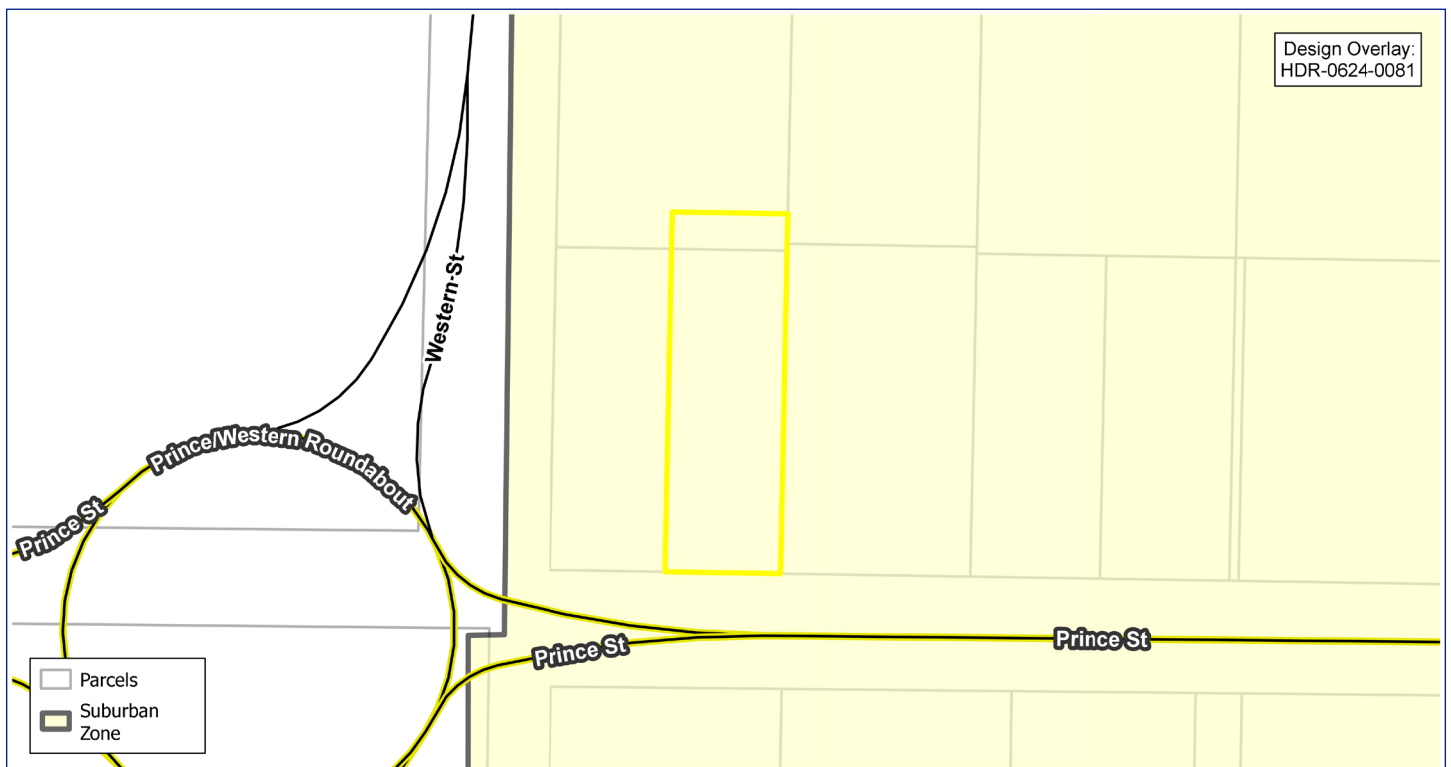
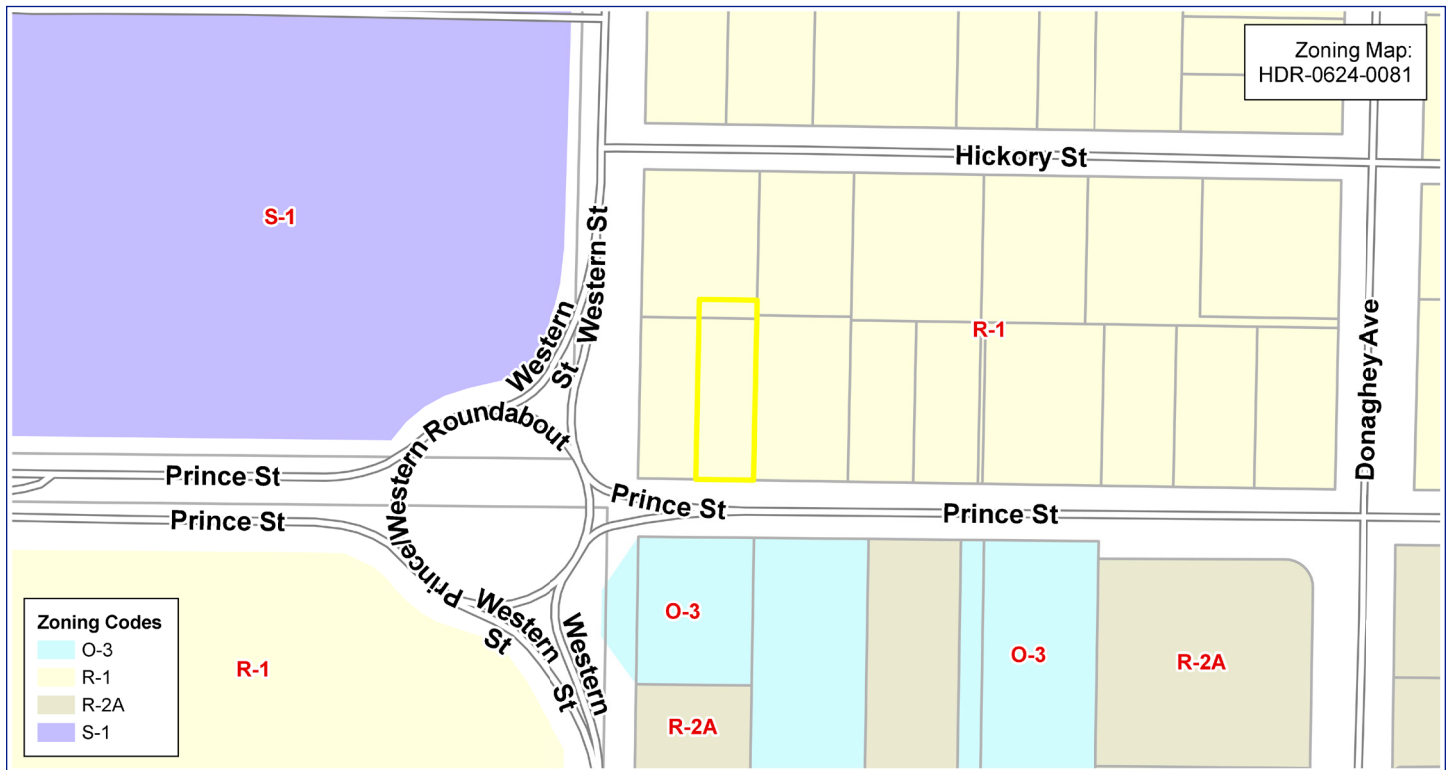
**Present Zoning.** R-1 (One Family Residential District), Old Conway Design Overlay (OCDOD) Suburban District.

**Abutting Zoning.** North/East/West: R-1 (One Family Residential District), OCDOD - Suburban; South: O-3 (Restricted Office District), OCDOD - Suburban.

**Lot Area.** 0.12 acres  $\pm$ .

**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay Suburban District north of Prince St. between Donaghey Ave and Western St. Area structures consist of a mix of single-family homes in Craftsman, contemporary and minimal traditional styles. There are also two homes converted to offices across Prince St.

**General Description of Property and Proposed Development.** The application is proposing to construct a new 1540 sf contemporary style home.



**Setbacks and Spacing.** Front setbacks are allowed within a range of 85% to 115% of the average front setback of the area. The average front setback for the area is 43', based on two adjacent homes. The applicant is proposing a front setback of 46'11".  
*The proposed setback is within the permissible range and meets this requirement.*

**Lot Coverage.** Lot coverage for all impervious surfaces shall be less than 60%.  
*Lot coverage for this site is less than 30%.*

**Orientation.** The front door of the structure should follow the orientation of entries along the street.  
*The front door for this structure faces the street in a similar fashion to other structures on the street.*

**Garages/Outbuildings.** Garages should be placed at the rear of the lot. When lot depth prevents a rear placement, the garage may be placed at the side of the structure along the back half of the structure. Two and three car garages should be placed at the rear of the lot in a detached structure.  
*The applicant is not proposing any detached garages.*

**Driveway / Parking.** Parking in the front yard is not permitted. Parking is to be placed at the rear or side. Driveways should be concrete, pavers, or permeable paving and sharing of driveways is encouraged.  
*The applicant has indicated a driveway off of Prince St near the west property line. The width of the driveway is 16' with no length provided. Material used for the parking surface is also not provided. The plans cannot be adequately evaluated due to a lack of information on the plans for driveways.*

**Sidewalks.** Sidewalks are required for new construction projects.  
*There is an existing sidewalk at this location. The applicant will be responsible for repairing any areas damaged during construction.*

**Fences/Walls.** No perimeter fencing is proposed. There is a small fence that is used aesthetically around the front door area.

**Tree preservation.** Any trees over 8" in diameter or great must be protected and preserved. Canopy trees shall be required for each 30' of street frontage.  
*Any significant trees appear to be in rear of home and should be undisturbed. Applicant is proposing a new tree in the front yard.*

## **MASSING**

**Scale.** The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.  
*The scale of the proposed structure is compatible to the overall scale of structures in the surrounding area.*

**Height/Width/Directional Expression.** The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.  
*The height of the structure was not provided. The width at 33'11" will not be out of scale of the pattern of the neighborhood. The structure will be one story. There are predominantly one-story structures in the immediate vicinity. The area features a mix of building widths, with similarly narrow structures adjacent to the proposed site.*

**Footprint.** The structure should respect the ratio building footprint to lot area of homes within the general vicinity.  
*The building footprints will cover less than 30% of the site, similar to other structures in the area.*

**Complexity of form.** The detailing and wall breaks should relate well to structures in the area.  
*The structure is contemporary in design and differs from other structures in the area, however, they neighborhood is characterized by differing styles and forms. The proposed structure has detailing and wall breaks.*

**Façade, wall area, rhythm.** New facades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.  
*All elevations contain windows including several on the front facade. A calculation of the elevations will be required to ensure 25-40% contains windows.*

### DESIGN ELEMENTS

**Style.** New design should respect the context of the area while expressing the contemporary nature of the structure.

*The surrounding area does not have a cohesive theme of styles, mixing traditional, historic vernacular, modern, and contemporary elements. The design appears to be generally compatible in design with the surrounding area using traditional forms and patterns.*

**Entries, Porches, and Porticos, Doors and windows, Awnings.** Porches are encouraged and should be at least 6' deep, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntin bars are not permitted.

*The proposed windows should feature wide trim and one-over-one design. If muntin bars are proposed, they must be true divided lights. Fake muntin bars are prohibited. Proposed entryway is decorative and in line with past projects.*

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

*No lighting is shown on submitted plans.*

### MATERIALS AND DETAILING

**Architectural Details, Siding, and Bricks.** Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardieboard/LP Smartsite type siding.

*The applicant is proposing fiber cement board and batten siding as the materials for construction.*

**Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening.** Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

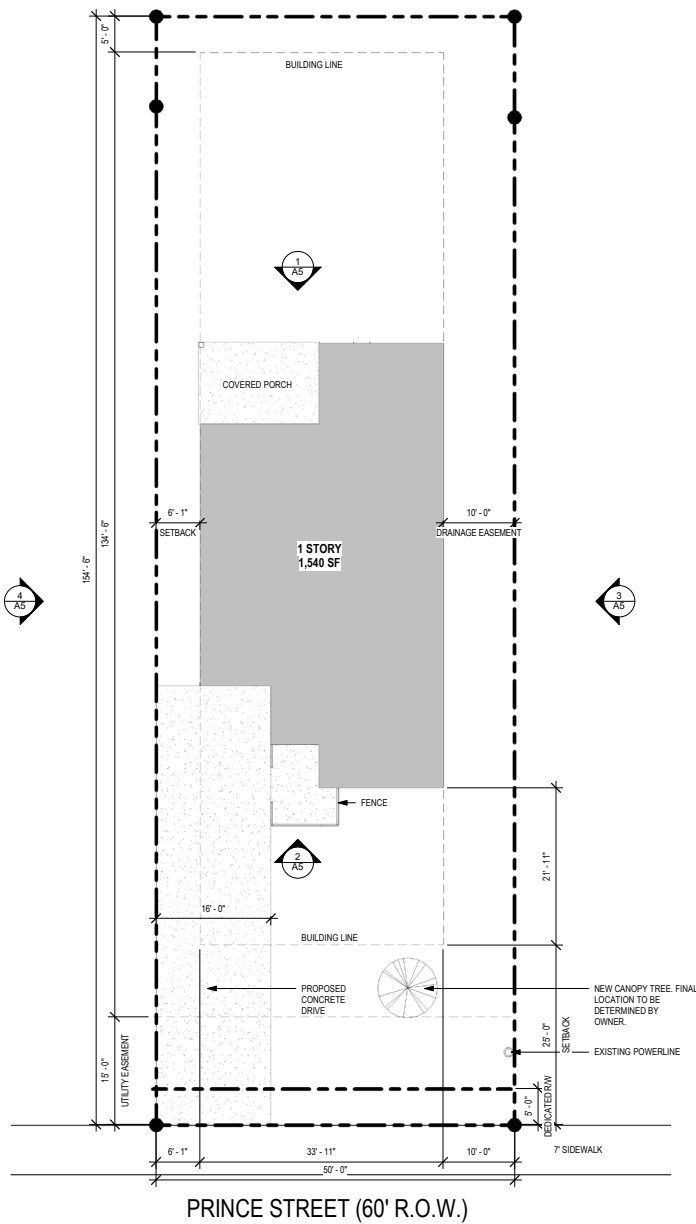
*No shutters are being proposed which is desirable. The applicant is proposing a gable roof with awnings in the front and rear. This is compatible with surrounding homes.*

### RECOMMENDATIONS

Staff recommends approval of the request with the following conditions:

1. Applicant must obtain all applicable building permits\* if/when a Certificate of Appropriateness is granted.  
*Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*
2. Overall height of the structure must be compatible to those found in the area.
3. Driveway shall be concrete, pavers, or permeable paving.
4. Any damage to existing sidewalk during construction must be repaired by the applicant.
5. Care should be taken to preserve all significant trees on the property. Any canopy tree removed must be replaced by a canopy tree from the approved tree list.
6. HVAC must be screened from public view.





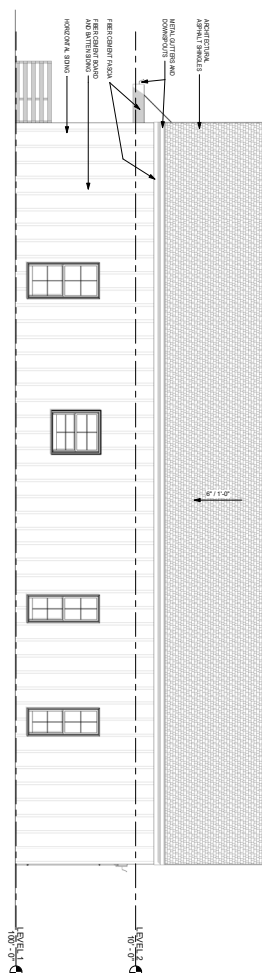
1 SITE PLAN  
1" = 10'-0"

# PRINCE HOUSE FOR STORYBOOK ARCHITECTURAL SITE PLAN

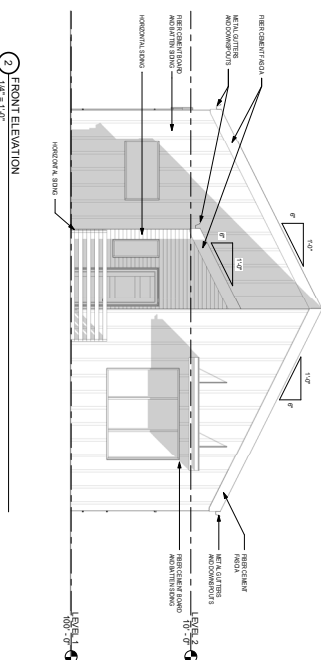
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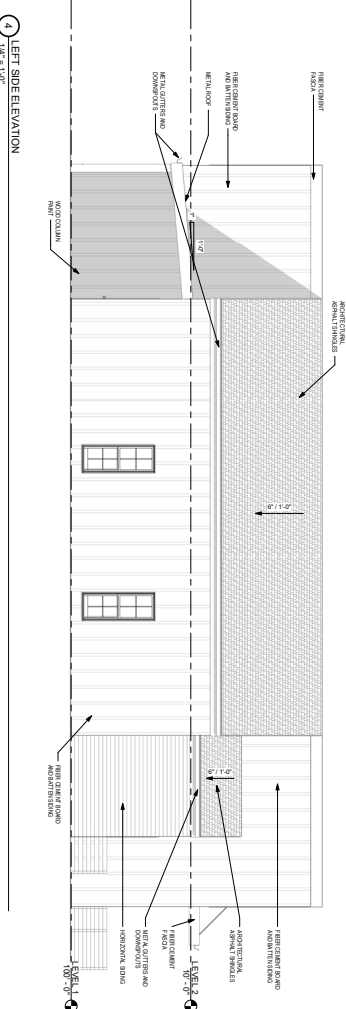
1 REAR ELEVATION  
1/4" = 1'-0"



3 RIGHT SIDE ELEVATION  
1/4" = 1'-0"



2 FRONT ELEVATION  
1/4" = 1'-0"



4 LEFT SIDE ELEVATION  
1/4" = 1'-0"





View of subject property from Prince St looking N



View of adjacent properties facing W



View of adjacent property to the W



View of adjacent property facing S across Prince St



View of adjacent property to the E



## 504 Monroe St-Addition

Old Conway Design Overlay District

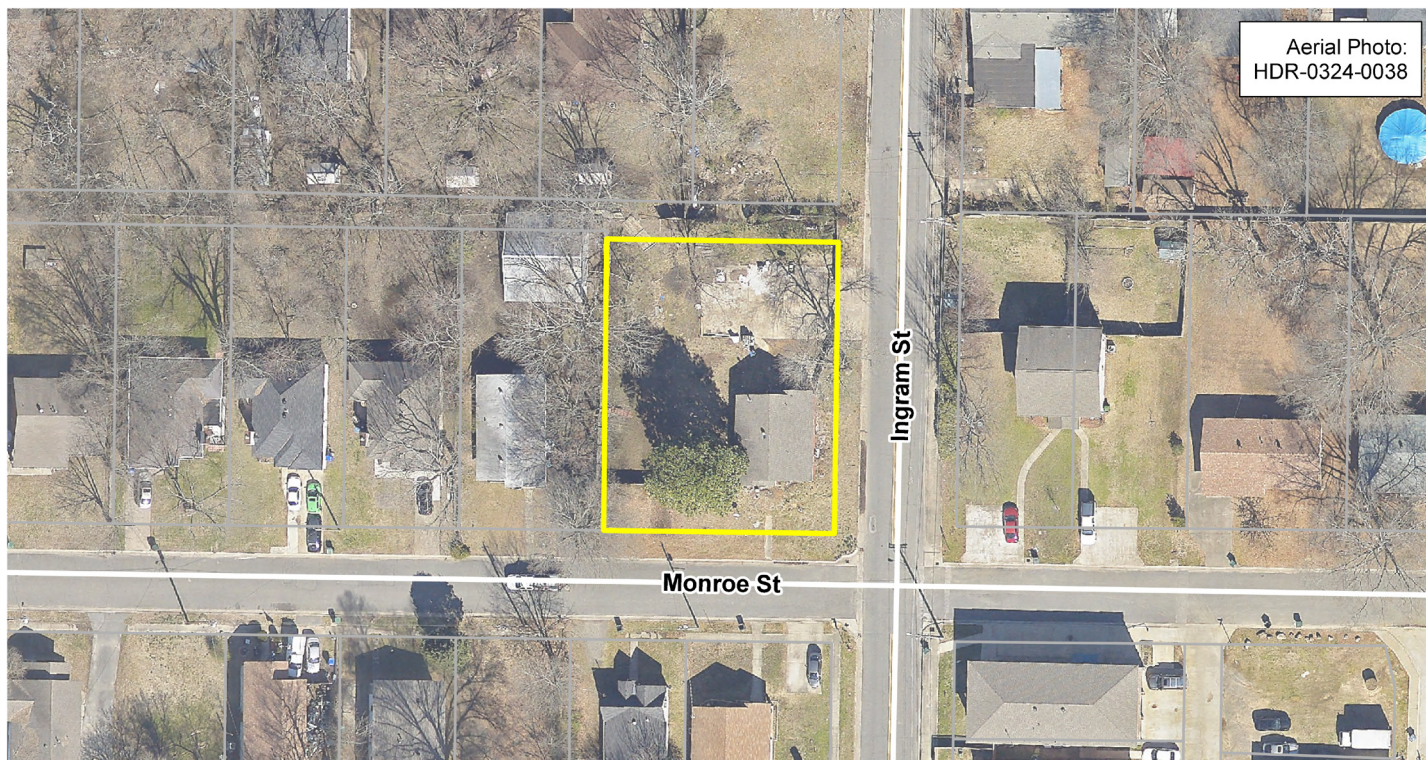
I.C

### **APPLICANT/AUTHORIZED AGENT**

Elias Palacios  
409 E. Church St  
Plumerville, AR 72127

### **OWNER**

Francisco Yanez  
504 Monroe St  
Conway, AR 72032



### **SITE DATA**

**Address.** 504 Monroe St.

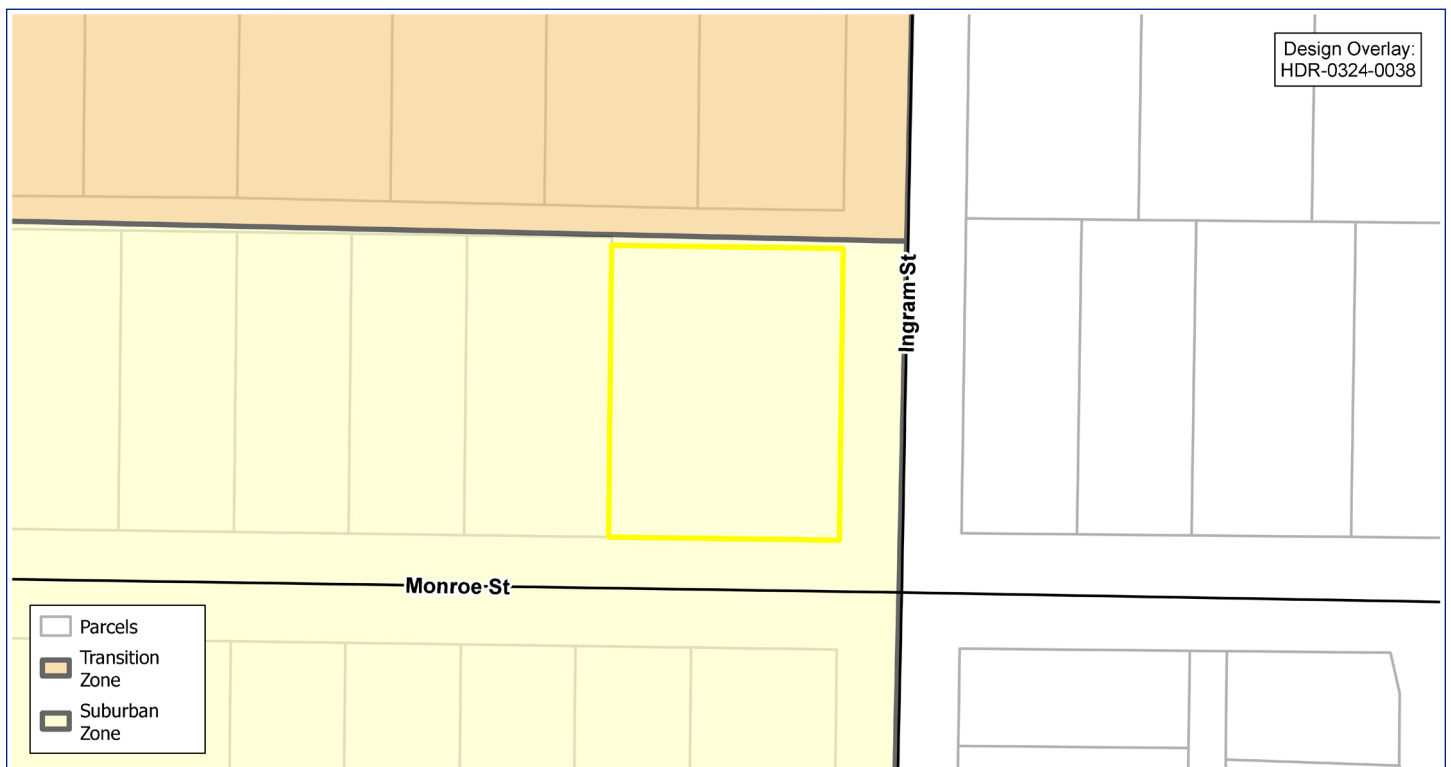
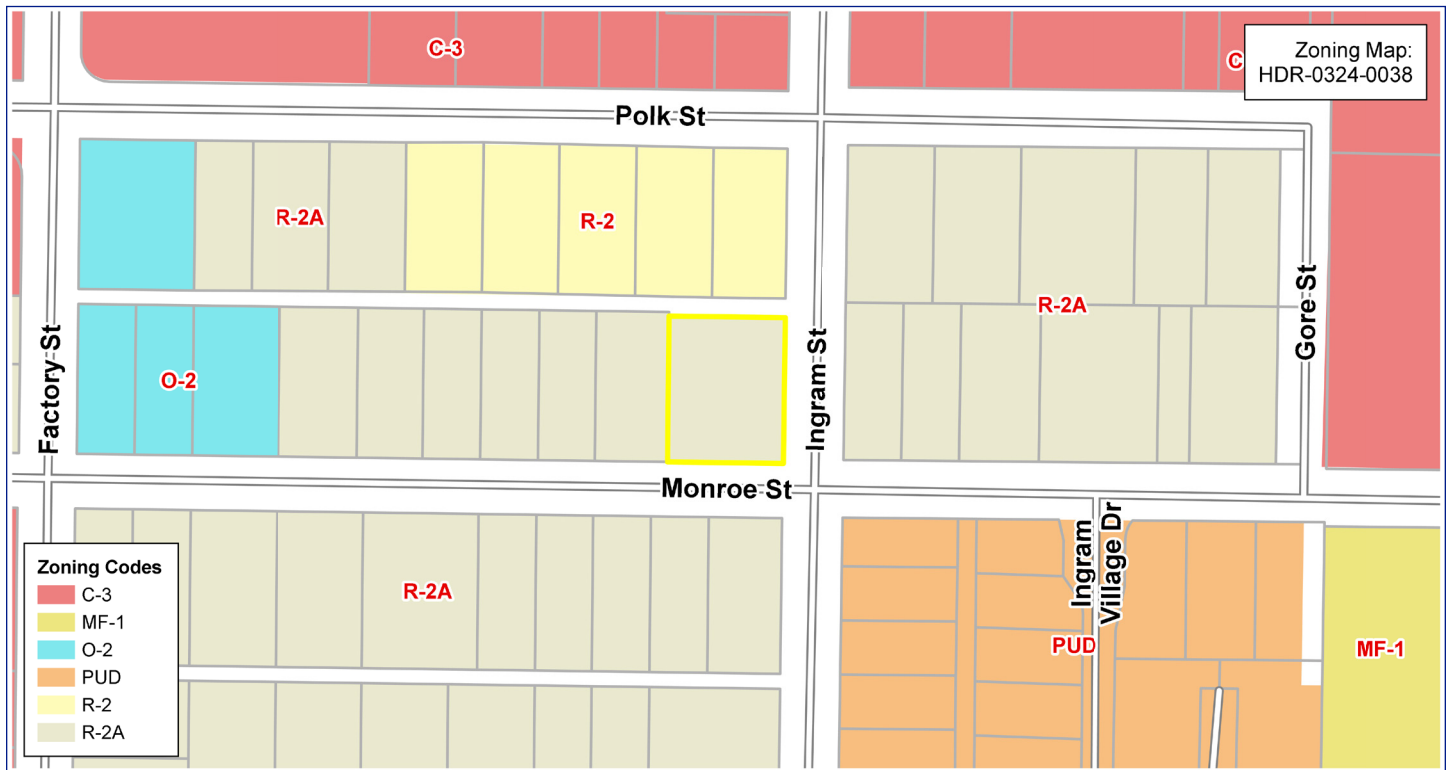
**Present Zoning.** R-2A (Two Family Residential District), Old Conway Design Overlay (OCDOD) Suburban District.

**Abutting Zoning.** North: R-2 (Low Density Residential), OCDOD Transition; South/West: R-2A (Two-Family Residential District), OCDOD Suburban; East: Ingram Village PUD.

**Lot Area.** 0.29 acres  $\pm$ .

**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay Suburban District on the northwest corner of the Ingram/Monroe intersection. Area structures consist of a mix of single-family homes in Craftsman, minimal traditional, multi-family and contemporary styles.

**General Description of Property and Proposed Development.** The application is proposing to construct a new 1,227sf addition to the rear and side of an existing 1,139sf single-family residence. Also proposed is a new driveway. The existing residence is characterized as minimal traditional and was built in 1916.





**Setbacks and Spacing.** Front setbacks are allowed within a range of 85% to 115% of the average front setback of the area. The secondary front shall have an 8ft minimum setback; 6ft side yard setback; and 5ft setback in the rear to conform to fire code. *The proposed setback meets the requirements. The addition is 53' from the rear, 15' from the secondary front, over 50' from the primary front, and 31' from the side.*

**Spacing.** Spatial relationships among existing buildings on a block and neighborhood suggest an appropriate width and spacing for new construction in the area. *The proposal conforms.*

**Lot Coverage.** Lot coverage for all impervious surfaces shall be less than 60%. *Lot coverage for this site is approximately 42%. The proposal conforms.*

**Driveway / Parking.** Parking in the front yard is not permitted. Parking is to be placed at the rear or side. Driveways should be concrete, pavers, or permeable paving and sharing of driveways is encouraged. *There is an existing, concrete driveway and parking pad to the rear of the existing structure with access from Ingram St. This project includes a proposal for an additional 10' driveway to the western side of the residence with access from Monroe St. The driveway will need to be concrete ribbon, or permeable pavers.*

**Fences/Walls.** Fences shall be no more than 3.5 feet tall in front yards with pickets no more than 4 inches wide and 3 inches apart. Privacy fences shall be no more than 6 feet tall and are only allowed in rear yards or side yards as deemed appropriate. Fences may be constructed of wood, iron (or aluminum mimicking iron), brick, or stone. The upper two feet of privacy fencing should have 50% opacity, provided by a lattice or grid pattern of wood or iron. *There is an existing fence. Should it be removed or altered, any replacement fencing will need to conform to the guidelines outlined above.*

**Tree preservation.** Any trees over 8" in diameter or great must be protected and preserved. Canopy trees shall be required for each 30' of street frontage. *It does not appear that any significant trees will be impacted by construction. Should any trees be removed, they will need to be replaced at a 1:1 ratio.*

## **MASSING**

**Scale.** The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings. *The scale of the proposed structure is compatible to the overall scale of structures in the surrounding area.*

**Height/Width/Directional Expression.** The height/width and directional expression of the structure should relate to historic patterns in the neighborhood. *The addition is to the side and rear of the structure and its directional expression is in conformance with that of the neighborhood.*

**Footprint.** The structure should respect the ratio building footprint to lot area of homes within the general vicinity. *The proposal conforms.*

**Complexity of form.** The detailing and wall breaks should relate well to structures in the area. *The existing residence is characterized as minimal traditional with architectural differentiation being limited mostly to eaves and material changes. The addition will maintain the same level of detailing.*

**Façade, wall area, rhythm.** New facades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area. *All elevations contain windows including several on the front and secondary front facades.*

**DESIGN ELEMENTS**

**Style.** New design should respect the context of the area while expressing the contemporary nature of the structure.

*The surrounding area does not have a cohesive theme of styles, mixing Craftsman, minimal traditional, multi-family and contemporary styles.*

*The design of the proposed addition respects these styles and does not degrade the existing residence.*

**Entries, Porches, and Porticos, Doors and windows, Awnings.** Porches are encouraged and should be at least 6' deep, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntin bars are not permitted.

*No porch is proposed. The proposed windows should feature wide trim and one-over-one design is encouraged. If muntin bars are proposed, they must be true divided lights. Fake muntin bars are prohibited.*

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

*No lighting is indicated.*

**MATERIALS AND DETAILING**

**Architectural Details, Siding, and Bricks.** Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardieboard/LP Smartside type siding.

*The applicant proposed brick siding and asphalt shingles.*

**Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening.** Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

*No shutters are being proposed which is desirable. The applicant is proposing a gable roof with asphalt shingles. This is compatible with surrounding homes.*

**Mechanical system screening.** HVAC units should be located where they are not readily visible from the street. If visible, they should be screened with shrubbery or fencing.

*No HVAC equipment is shown on the site plan.*

**RECOMMENDATIONS**

Staff recommends approval of the request with the following conditions:

1. Applicant must obtain all applicable building permits\* if/when a Certificate of Appropriateness is granted.

*\*Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*

2. Any fencing will need to conform the following:

-No more than 3.5 feet tall in front yards with pickets no more than 4 inches wide and 3 inches apart. Privacy fences shall be no more than 6 feet tall and are only allowed in rear yards or side yards. Fences may be constructed of wood, iron (or aluminum mimicking iron), brick, or stone.

3. Significant trees over 8" in diameter need to be protected. Should any be removed during construction, they shall be replaced at a rate of 1:1 with trees from the approved tree species list.

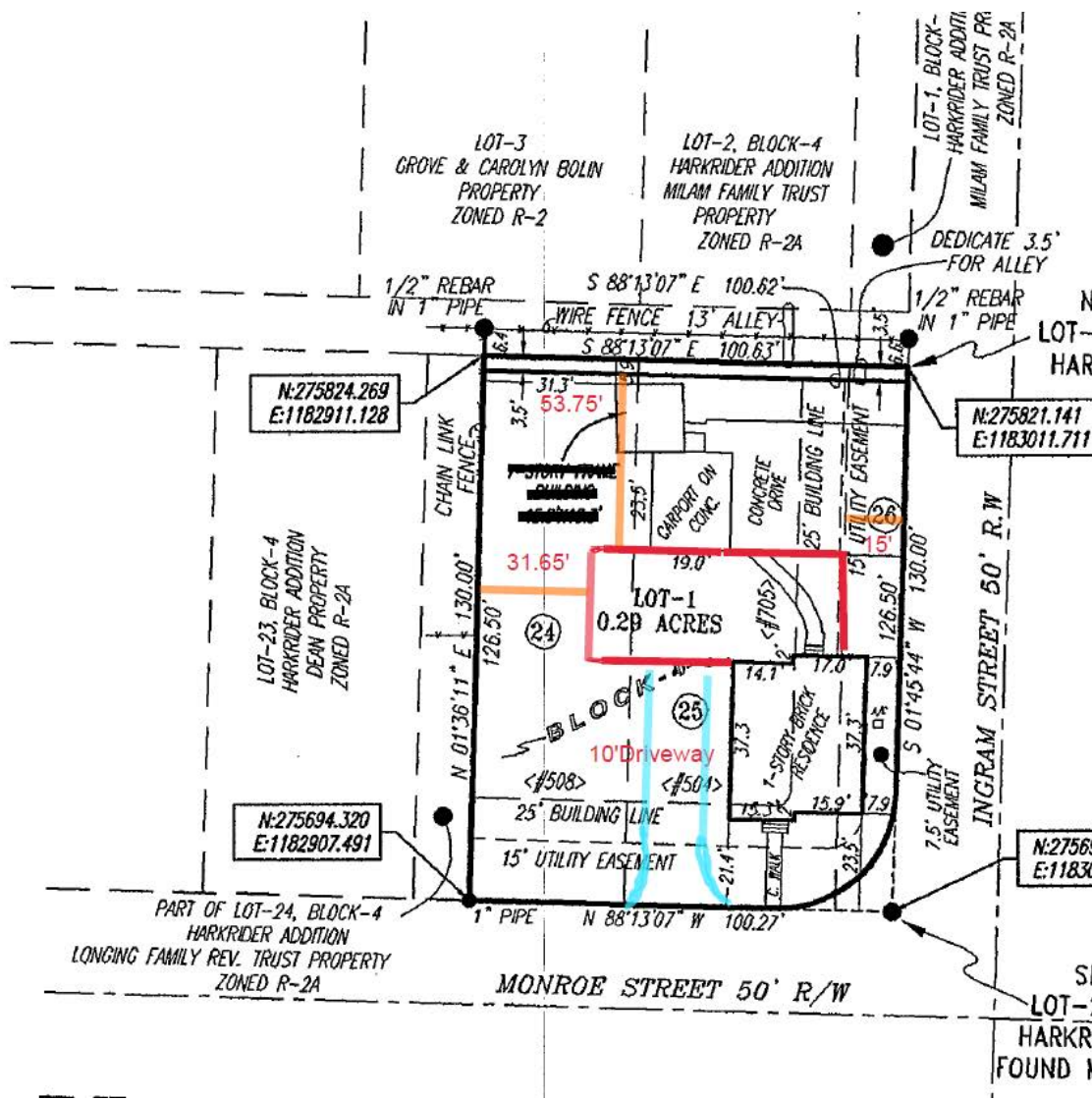
4. Windows shall be at least one-over-one (not fixed windows). If muntin bars are used, they must be true divided lights.

5. Driveway shall be concrete, pavers, or permeable paving.

6. Lighting shall be downward and inward toward the property.

7. HVAC equipment shall be screened from public view.

8. Applicant shall coordinate with transportation to ensure that driveway permits are issued where applicable.









View of subject property from Monroe St facing NE



View of subject property from Monroe St facing NE



View of subject property facing N



View of adjacent property to the S



View of adjacent property to the W



View of adjacent property to the E



