

The background of the entire page is a close-up photograph of several slices of watermelon. The slices are cut into various shapes, including long wedges and rectangular pieces, showing the bright red flesh, dark seeds, and green rind. The lighting is bright, highlighting the texture of the watermelon.

A stylized white logo consisting of a horizontal line with two decorative swirls at its ends, and four vertical lines of varying heights extending downwards from the center of the horizontal line.

CONWAY  
HISTORIC DISTRICT COMMISSION  
JULY

6:00pm • July 25, 2016 • City Hall

# Robinson Historic District & Old Conway Design Overlay District

## CONWAY HISTORIC DISTRICT COMMISSION MEETING

JULY 25, 2016 • 6:00PM • CITY HALL • 1201 OAK STREET

### AGENDA

#### Minutes

June 27, 2016

#### Public Hearings

ROBINSON HISTORIC DISTRICT

None

OLD CONWAY DESIGN OVERLAY DISTRICT

A. Sowell/Johnston New Residence - 1425 McKay Ave.

B. Quattlebaum Carport Enclosure & Porch Expansion - 1031 Watkins St.

C. Stobaugh New Restaurant (Stoby's) - 805 - 817 Donaghey Ave.

#### Discussion

Other items as decided by the Commission

### HISTORIC DISTRICT COMMISSION MEMBERS

Steve Hurd, Chairman  
Marianne Welch, Vice-Chairwoman  
Scott Zielstra, Secretary  
George Covington, Sr.  
Taylor Martin  
Aaron Nicholson  
Betty Pickett

## MEETING MINUTES - JUNE 27, 2016

### Conway Historic District Commission June 27, 2016 Meeting Minutes

City Hall - Downstairs Conference Room, 6:00 p.m.

#### Roll Call

Steve Hurd, Chairman - present  
Scott Zielstra, Secretary - present  
George Covington, Sr. - absent  
Marianne Welch - present  
Betty Pickett - absent  
Aaron Nicholson - present  
Taylor Martin - present  
HDC City Staff, Bryan Patrick - absent

#### Finding of a Quorum

6 Commission members - Quorum present.

Also in attendance:

Steve Dresser - Contractor for project

#### Meeting Minutes

May 23, 2016 minutes. Aaron Nicholson motioned for approval, seconded by George Covington. Minutes approved unanimously.

#### PUBLIC HEARINGS - CERTIFICATE OF APPROPRIATENESS

##### Connell Residence Remodel - 2136 Weems Street

Presentation: The owner would like to enclose a portion of the carport and put a pad next to it for parking. They would also like to put a detached garage in the back along with a screened in porch. The driveway to the back would be Hollywood style drive with two cement strips for the tires around to the back of the house. The last item to be put in place is an additional slab on the front of the house to accommodate a driveway, turnaround area. The slab would be towards the front door and not towards the property line.

Neighborhood Discussion: None

Committee Discussion: The committee would like to see the driveway strips to the back of the house instead of a driveway or gravel. We would also like them to have a discussion with the city engineer to ensure the driveway to the back does not interfere with the concrete drainage ditch to the side of the house.

Motion made by Marianne Welch to accept the plan as submitted with the addition of one condition:

Committee Conditions:

1. The carport enclosure, screen porch, and garage shall be constructed as shown in submitted plan.
2. Hardie – board or similar cement siding shall be used to match existing siding.
3. Decorative porch railing may be added.
4. Driveway concrete strips shall be allowed from street to the rear of the house.

5. Review the swale/drainage ditch with City Engineer on the side of the yard.

Seconded by George Covington. Motion approved unanimously.

#### Amended Henderson Residence certificate of appropriateness.

Committee Discussion: There was a name change to the certificate of appropriateness for this application. However, there were no material changes to the request so it was approved by HDC Staff

Meeting adjourned

**A SOWELL/JOHNSTON NEW RESIDENCE - 1425 MCKAY AVENUE**

**OLD CONWAY DESIGN OVERLY DISTRICT  
CERTIFICATE OF APPROPRIATENESS  
SOWELL/JOHNSTON NEW RESIDENCE  
1425 MCKAY AVENUE**

**APPLICANT**  
Rik Sowell  
330 Conway Boulevard  
Conway, AR 72034

**OWNER**  
Lance Johnston  
344 Conway Boulevard  
Conway, AR 72034

**SITE**  
**Location.** 1425 McKay Avenue

**Site Area.** 0.22 acre ±

**Present Zoning.** R-2A (Large Lot Duplex). The property is within the Old Conway Design Overlay Suburban District.

**Abutting Zoning.** R-2A (Large Lot Duplex) in the Old Conway Design Overlay Suburban District.

**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay Suburban District on the south side of McKay Avenue one lot east of the intersection of Conway Boulevard and McKay Avenue. Area structures consist of single family residences in Cape Cod, ranch, Queen Anne, and modern craftsman cottage styles.

**General Description of Property and Proposed Development.** The applicant is proposing to construct a new 1878 square foot residence.

**Setbacks.** Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 80% to 110% of the average area front setback. The front setback is proposed to be 34 feet from the edge of the pavement. This is within the allowed range. The west side setback will be 6 feet. The east side setback is 13 feet and the rear setback is 50 feet. All setbacks are appropriate.

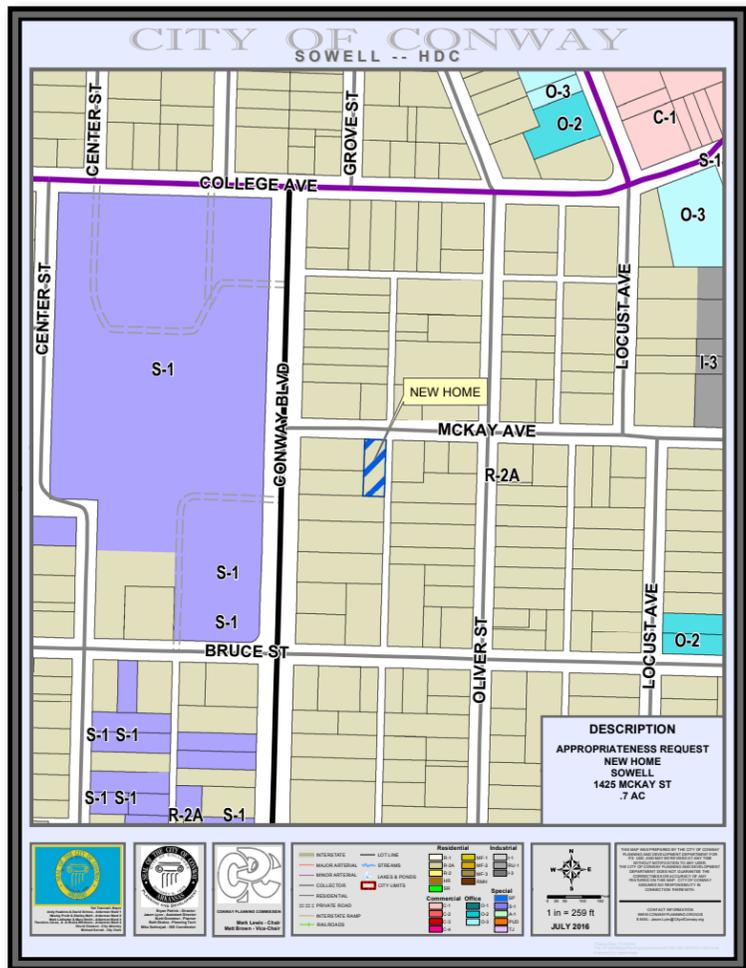
**Spacing.** Established spacing distance pattern between area structures. Spacing is similar to other residences and fits within the neighborhood spacing pattern.

**Lot Coverage.** The Old Conway District allows up to 60% impermeable lot coverage. The proposed impervious area is well under this percentage and is appropriate.

**Orientation.** The direction in which the front of a building faces. The residence will appropriately face McKay Avenue.

**Alley.** There is an unbuilt alleyways abutting the property along the east side.

**Driveway/Parking.** A 10 foot driveway is proposed on



the east side of the house. Driveway material is assumed to be concrete. The driveway will extend to a garage appropriately located at the rear of the residence.

**Sidewalks.** There are no existing sidewalks along McKay Avenue. The applicant must construct a sidewalk along the McKay frontage or pay an in-lieu fee of \$600 (60 feet of frontage - 10 feet for driveway = 50 feet x \$12/foot = \$600) Since McKay has no curb and gutter, a sidewalk in-lieu fee might be appropriate.

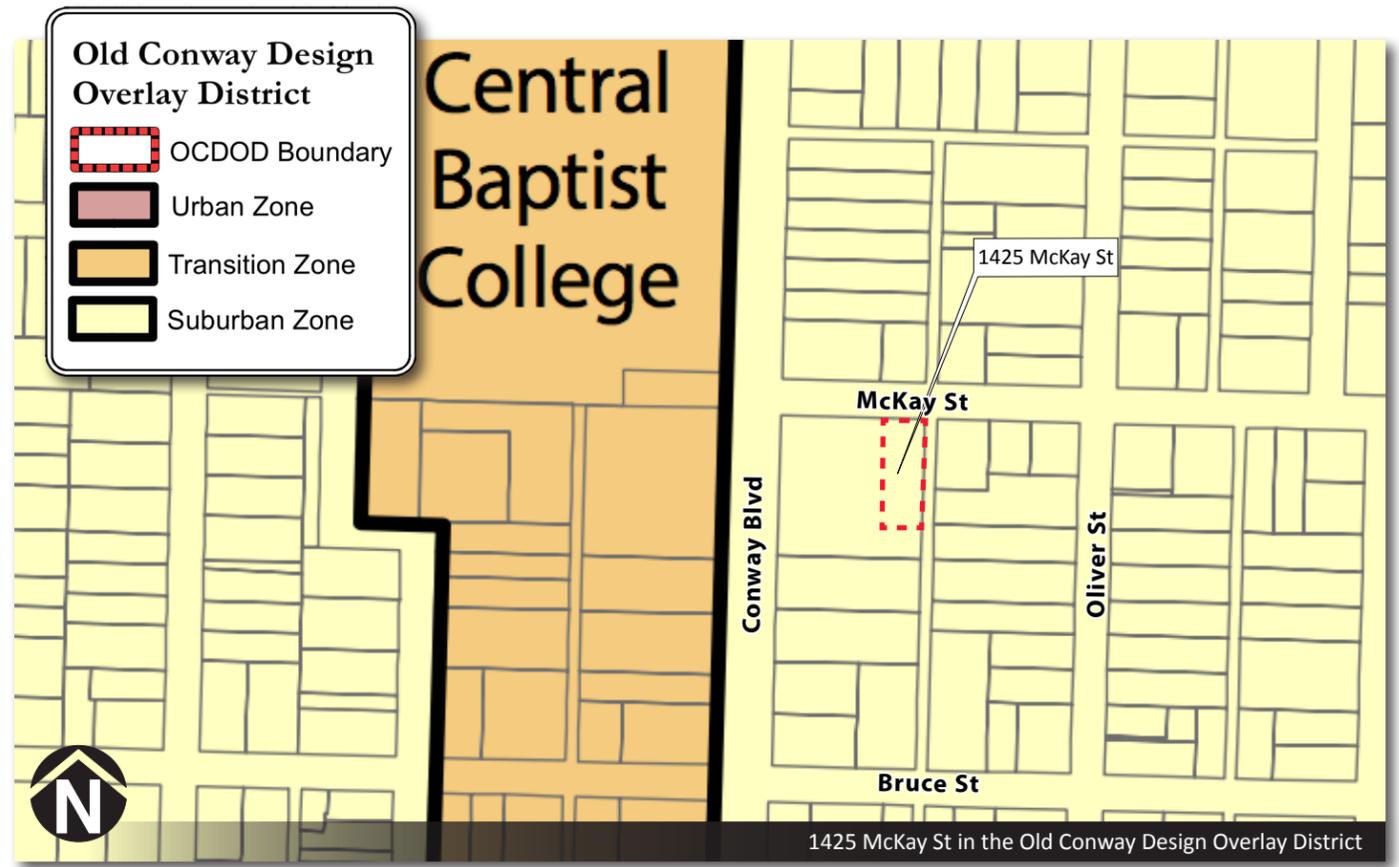
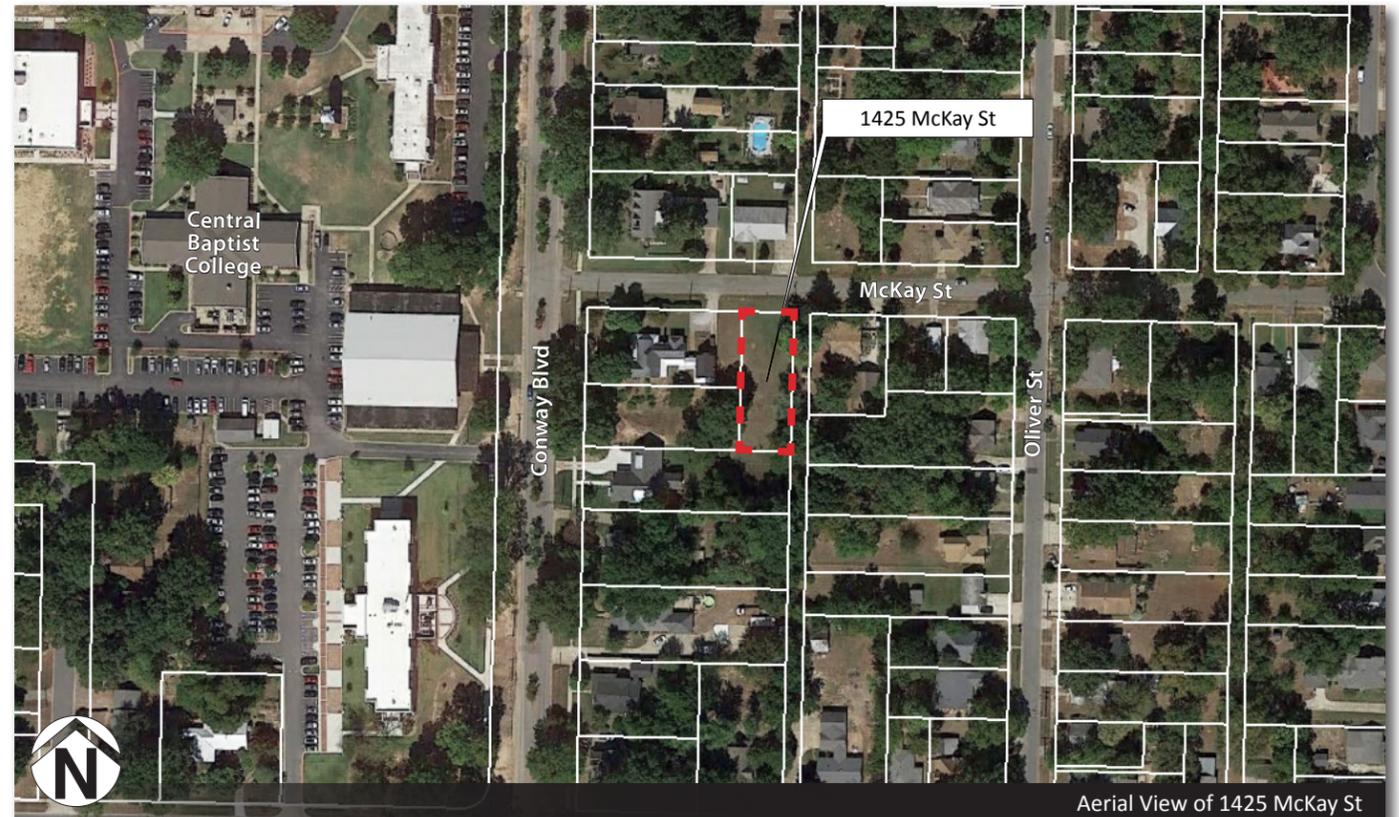
**Fences.** No fencing is shown in the supplied drawings.

**Tree preservation.** There are no significant trees that will be affected by the residence and driveway.

**MASSING**

**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The overall size of the new residence fits into the scale of area development.

**Height.** The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. The overall height and eave lines are high for a one story structure. This height



is appropriate as it is similar to traditional homes with high ceilings.

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The new residence's width is somewhat narrow and will blend with neighboring structures.

**Directional expression.** Measurement of the height to width ratio of a structure's elevation. The height/vertical expression of the residence is appropriate.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The residence's under roof footprint is appropriate.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The residence has gables, porches, columns, and other details adding an appropriate level of complexity to the overall form.

**Facade, wall area, rhythm.** Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. The residence's gables, porches, columns, and glass areas create facades compatible with other area traditional structures

**DESIGN ELEMENTS**

**Style.** The style should compliment area structures. The overall style of the proposed residence is a modern interpretation of a gothic revival/traditional vernacular residence. It blends appropriately with surrounding structures.

**Entries, Porches, and Porticos.** The front facade features a wrap around porch with a metal roof. The porch appears to be well over the required 6 foot minimum depth. Porch columns are shown as 8" x 8". The porch and columns are appropriate.

**Doors and windows.** The rhythm, patterns, and ratio of voids to solids of new buildings should relate to and be compatible with adjacent facades; typically a higher proportion of voids to wall area. The residence has quite a large area of glass on the front facade. Only two elevations were submitted. It is assumed that additional windows and doors will be placed on the west elevation in the porch area. The applicant can address the number of windows and doors on all elevations at the meeting.

**Awnings.** When new construction uses awnings, traditional awning designs, materials, and placement should be used. Awnings are shown above two window areas. These awnings have metal roofs and wooden brackets and are appropriately traditional in nature.

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

**MATERIALS & DETAILING**

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The materials selected for a new dwelling should be compatible with and complement the surrounding structures in the Suburban Zone. Brick, stone, and wood are the most common and most appropriate materials for cladding and are strongly encouraged.

Synthetic materials such as vinyl, aluminum, and synthetic stucco (EIFS products) are not historic cladding materials and should not be used. Cement board materials such as Hardiboard may be substituted for wood siding.

It is assumed that the residence will be clad with fiber cement siding. Vertical board and batten siding is shown on the majority of the structure. Accent lap siding and shingle siding are also used. A brick base is shown. These materials and are appropriate.

**Shutters.** If used, shutters should be in proportion to their window opening. If they were closed, they should cover the window opening. No shutters are shown.

**Roof.** An asphalt shingle roof is proposed for the majority of the residence. A standing seam metal roof is shown above the porch and used on window awnings.

**Decks/Plaza Space.** No decks or patio space are shown.

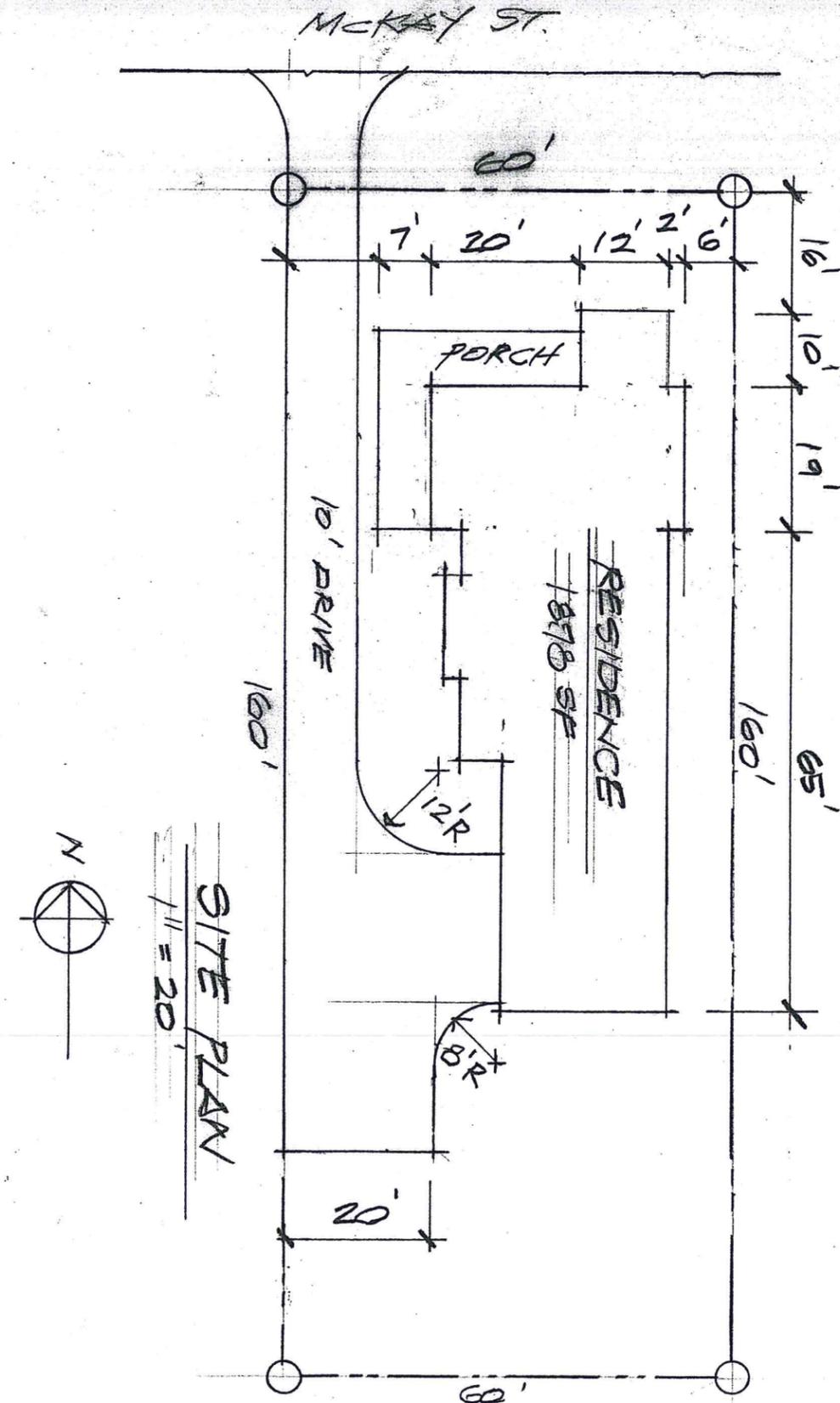
**Skylights.** None are shown

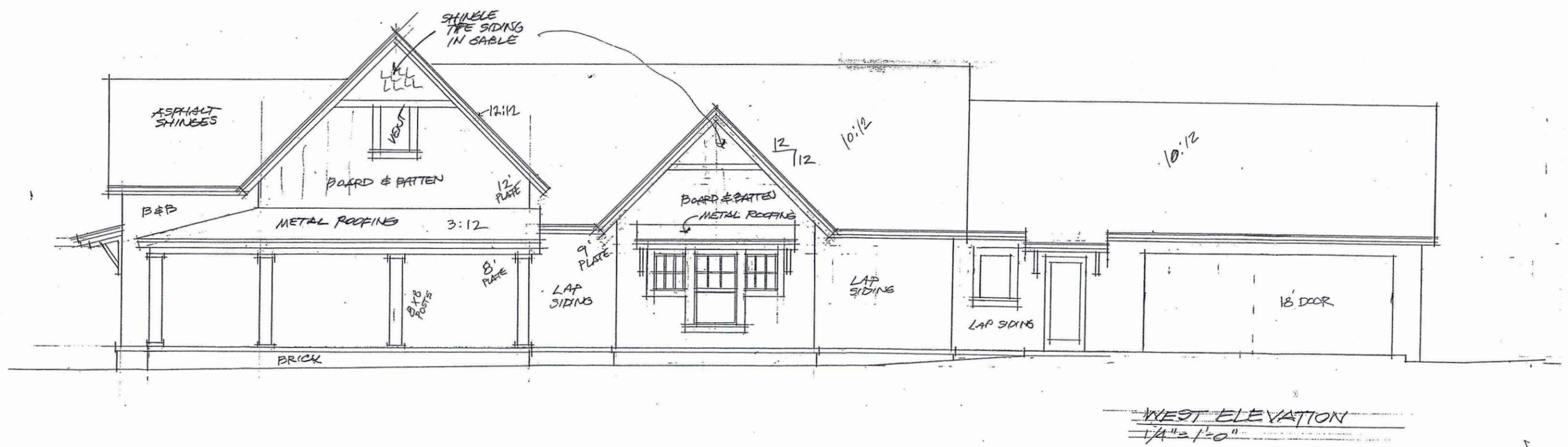
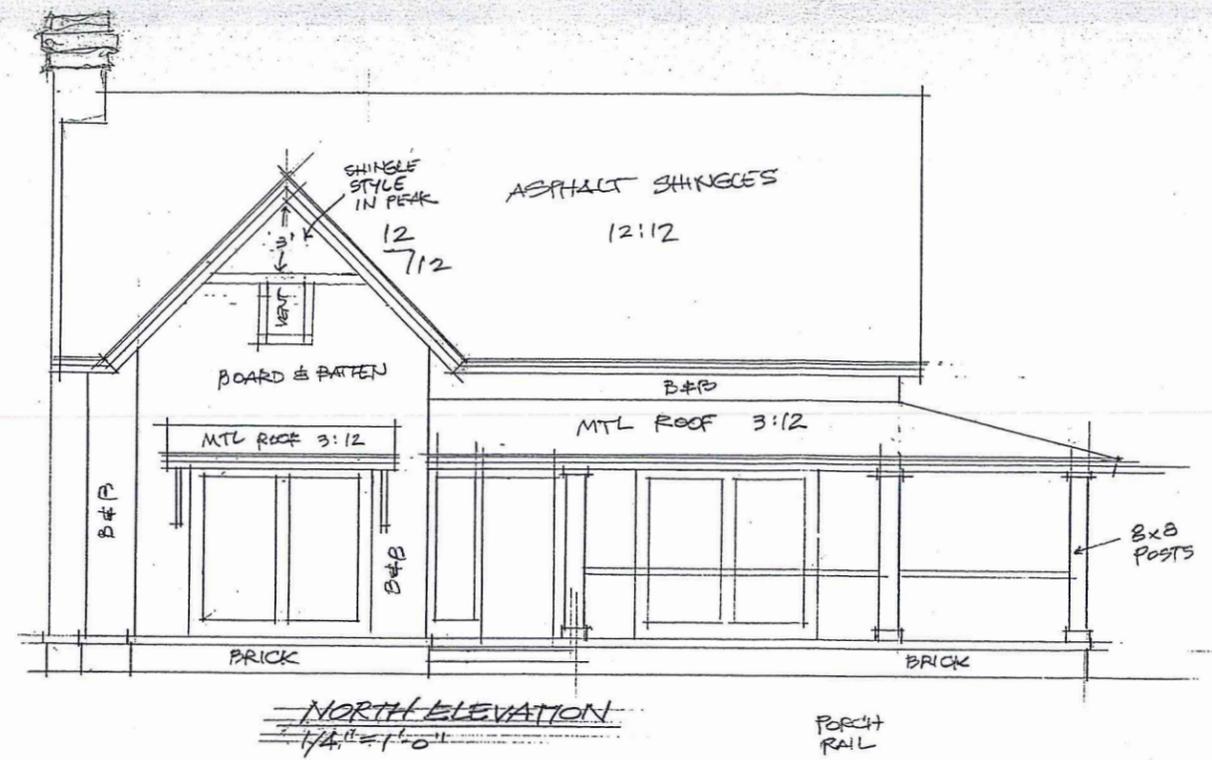
**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. No HVAC equipment is shown.

**RECOMMENDATIONS**

Staff recommends approval of the residence with the following conditions:

1. The residence and driveway shall be constructed as shown in submitted plans.
2. Fiber cement siding shall be used.
3. The driveway shall be constructed of concrete as shown.
4. Windows?
5. A sidewalk must be constructed along McKay Avenue or an lieu fee of \$600 must be paid into the sidewalk fund. City Engineer and Planning Director may determine if an in-lieu fee is appropriate





**B QUATTLEBAUM CARPORT ENCLOSURE & PORCH EXPANSION - 1031 WATKINS STREET**

**OLD CONWAY DESIGN OVERLY DISTRICT  
CERTIFICATE OF APPROPRIATENESS  
QUATTLEBAUM CARPORT ENCLOSURE & PORCH  
EXPANSION  
1031 WATKINS STREET**

**APPLICANT/OWNER**

Cody Quattlebaum  
1031 Watkins Street  
Conway, AR 72034

**SITE**

**Location.** 1031 Watkins Street

**Site Area.** 0.25 acre ±

**Present Zoning.** R-1 (Single Family Residential). The property is within the Old Conway Design Overlay Suburban District.

**Abutting Zoning.** R-1 (Single Family Residential) in the Old Conway Design Overlay Suburban District.

**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay Suburban District on Watkins Street one lot south of Duncan Street. Area structures consist of single family residences in primarily ranch and minimal traditional styles.

**General Description of Property and Proposed Development.** The applicant is proposing to enclose the carport of a 1558 square foot residence.

**Setbacks.** Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 80% to 110% of the average area front setback. The front setback will remain basically unchanged. The carport enclosure will project out to the front of the existing carport gable. However, setbacks are measured from the most projecting structure. Side and rear setbacks are unchanged.

**Spacing.** Established spacing distance pattern between area structures. Spacing is unchanged.

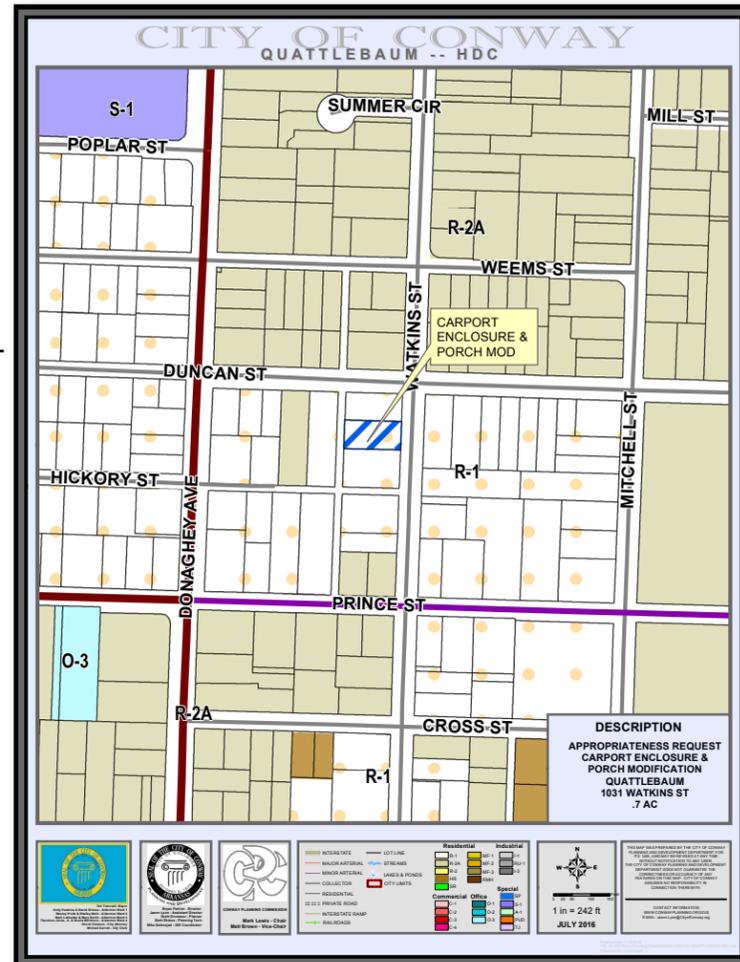
**Lot Coverage.** The Old Conway District allows up to 60% impermeable lot coverage. Pervious/impervious area is unchanged.

**Orientation.** The direction in which the front of a building faces. The Watkins street orientation is unchanged.

**Alley.** There is an unbuilt alleyway abutting the rear of this. This alley is not part of this review.

**Driveway/Parking.** there is an existing 12 foot wide driveway. This driveway will remain unchanged.

**Sidewalks.** There are no existing sidewalks along Watkins



near the residence. No sidewalk construction is required as the enclosure is considered existing under roof square footage. Since there is no additional square footage greater than 30%, no sidewalk is required.

**Fences.** No fencing is proposed.

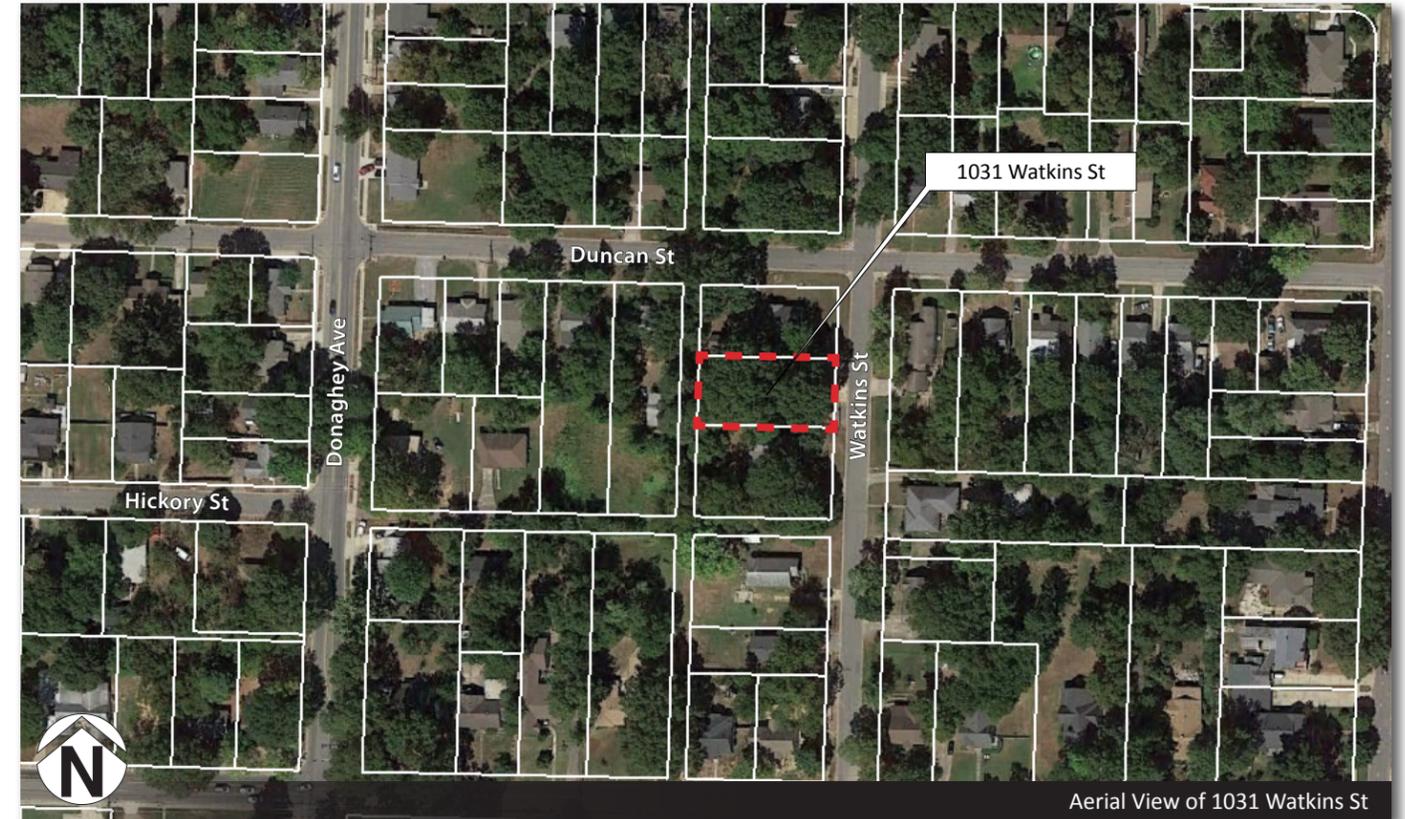
**Tree preservation.** There are no significant trees that will be affected by the project.

**MASSING**

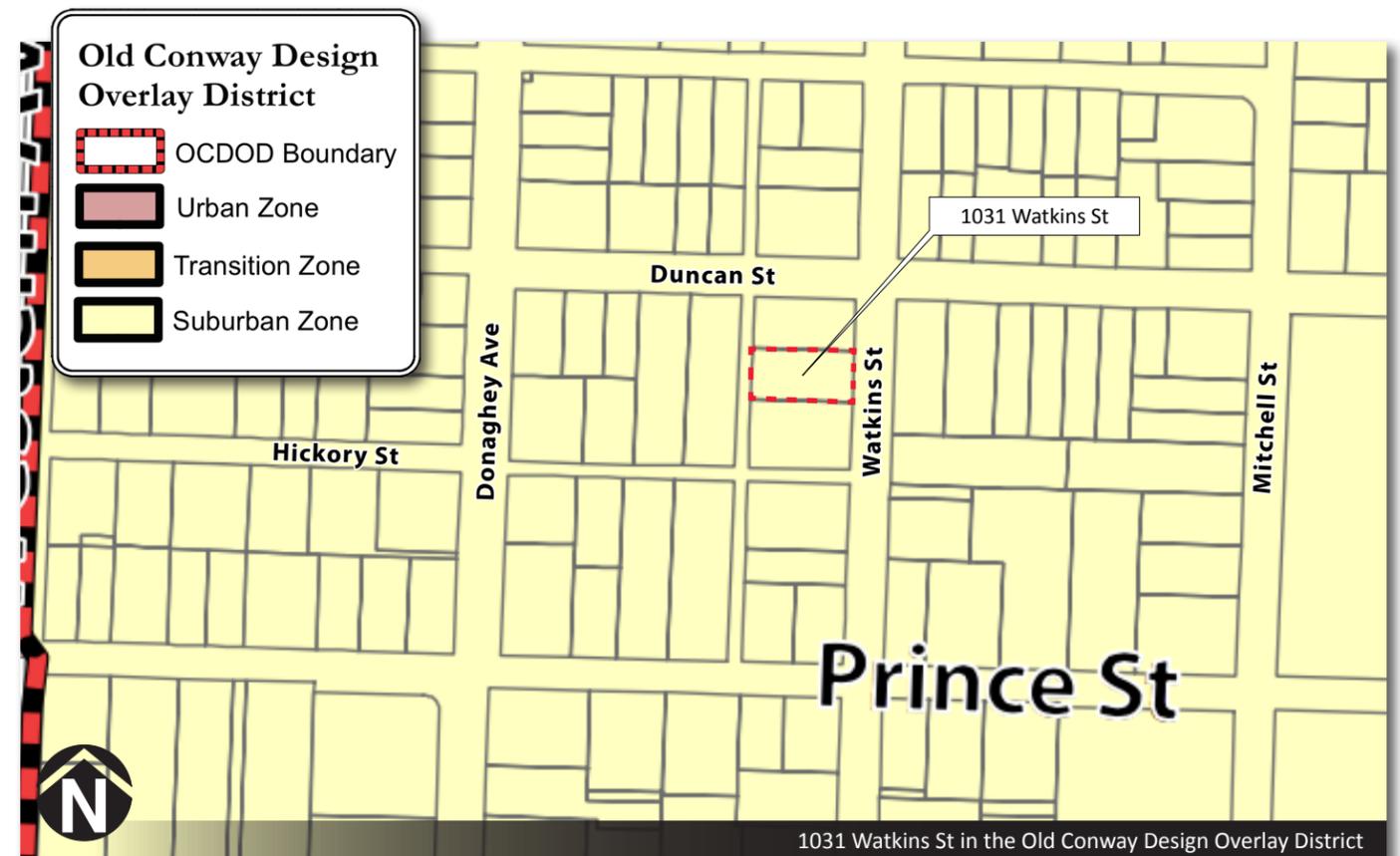
**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The overall size and scale of the residence will not be affected by this enclosure.

**Height.** The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. The overall height and eave lines will be unchanged.

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The residence's overall width will remain unchanged.



Aerial View of 1031 Watkins St



1031 Watkins St in the Old Conway Design Overlay District

**B QUATTLEBAUM CARPORT ENCLOSURE & PORCH EXPANSION - 1031 WATKINS STREET**

**Directional expression.** Measurement of the height to width ratio of a structure's elevation. The height/vertical expression of the residence will remain unchanged.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The residence's under roof footprint is unchanged.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The carport enclosure will not detract from the overall form of the residence.

**Facade, wall area, rhythm.** Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. The residence facade area will be increased with the enclosure of the carport. However, the enclosure will not detract from the overall face of the residence.

**DESIGN ELEMENTS**

**Style.** The style should compliment area structures. The residence is a ranch style house with an open carport. The enclosure of the carport will not greatly change the overall style of the residence.

**Entries, Porches, and Porticos.** The front facade entry area will change slightly. The enclosure will extend out to the edge of the existing front entry stoop. This also lines up closely with front of the carport gable. A new wooded porch or deck area will be added enlarging the stoop's area. Steps will be added to this porch directly in front of the front door. The applicant would also like to replace the wrought iron columns with cedar wood columns.

**Doors and windows.** The rhythm, patterns, and ratio of voids to solids of new buildings should relate to and be compatible with adjacent facades; typically a higher proportion of voids to wall area. The residence has the typical number of doors and windows of a ranch style home. The enclosure will include a new 3'-0" wide window on the front facade and a double window on the south facade.

**Awnings.** When new construction uses awnings, traditional awning designs, materials, and placement should be used. No awnings are shown

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

**MATERIALS & DETAILING**

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The residence appears to have brick siding with the exception of the carport area which appears to have wood siding. There is a short brick wall on the south side of the carport. The applicant would like to keep this brick wall and add an enclosure wall to the top of the bricks. The enclosure area siding is proposed to be clad with vinyl siding.

**Shutters.** No shutters are proposed.

**Roof.** There is an existing asphalt composition roof. The roof will remain unchanged.

**Decks/Plaza Space.** No deck is proposed. However, the increased front porch area will be deck like.

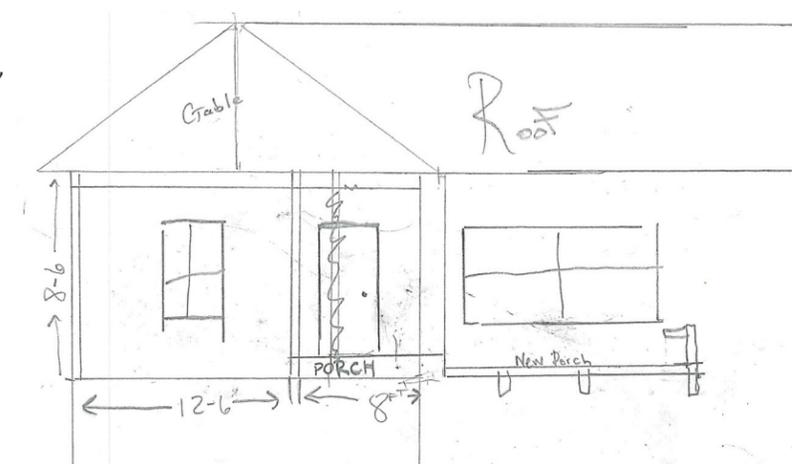
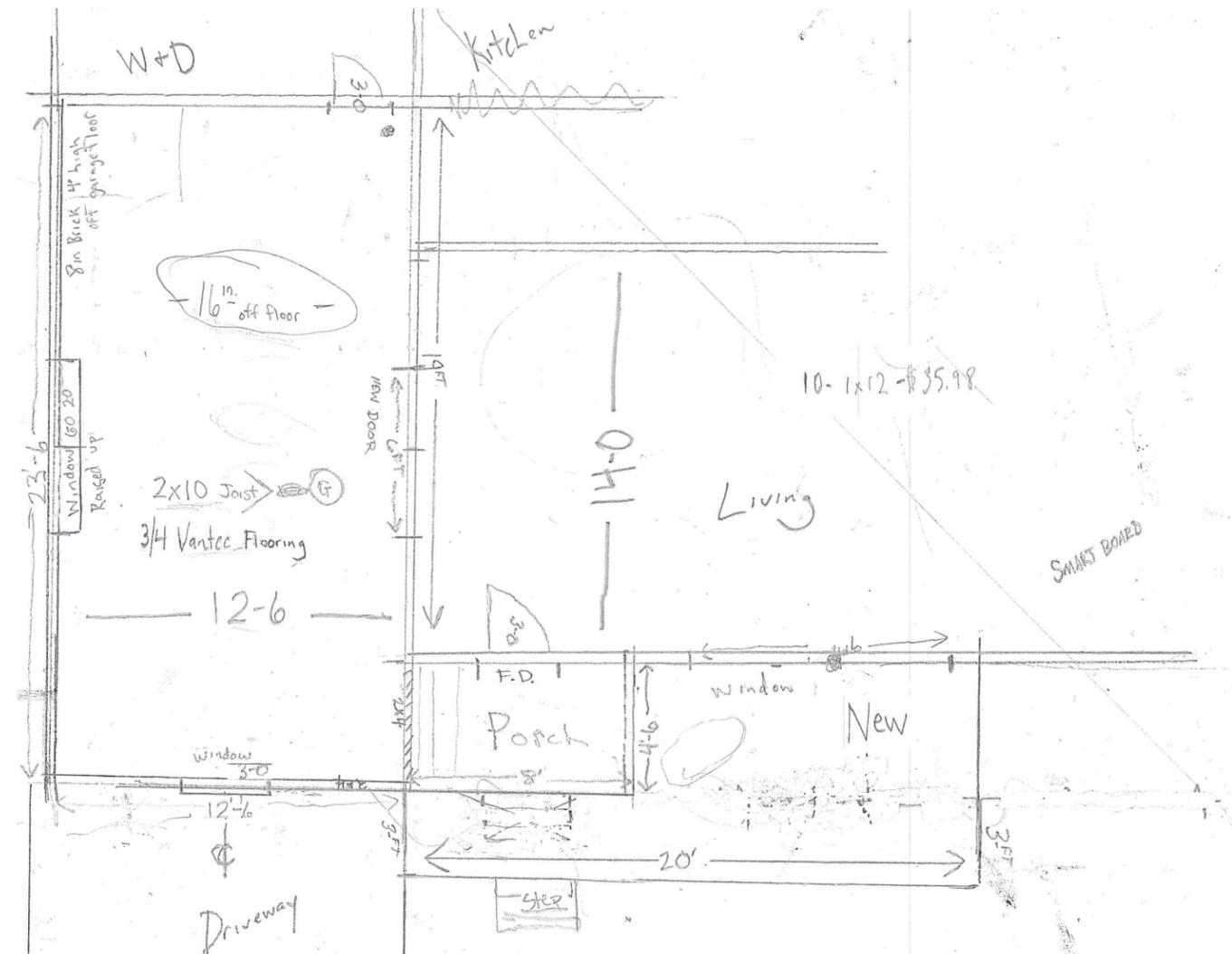
**Skylights.** None are shown

**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. No new HVAC equipment is proposed.

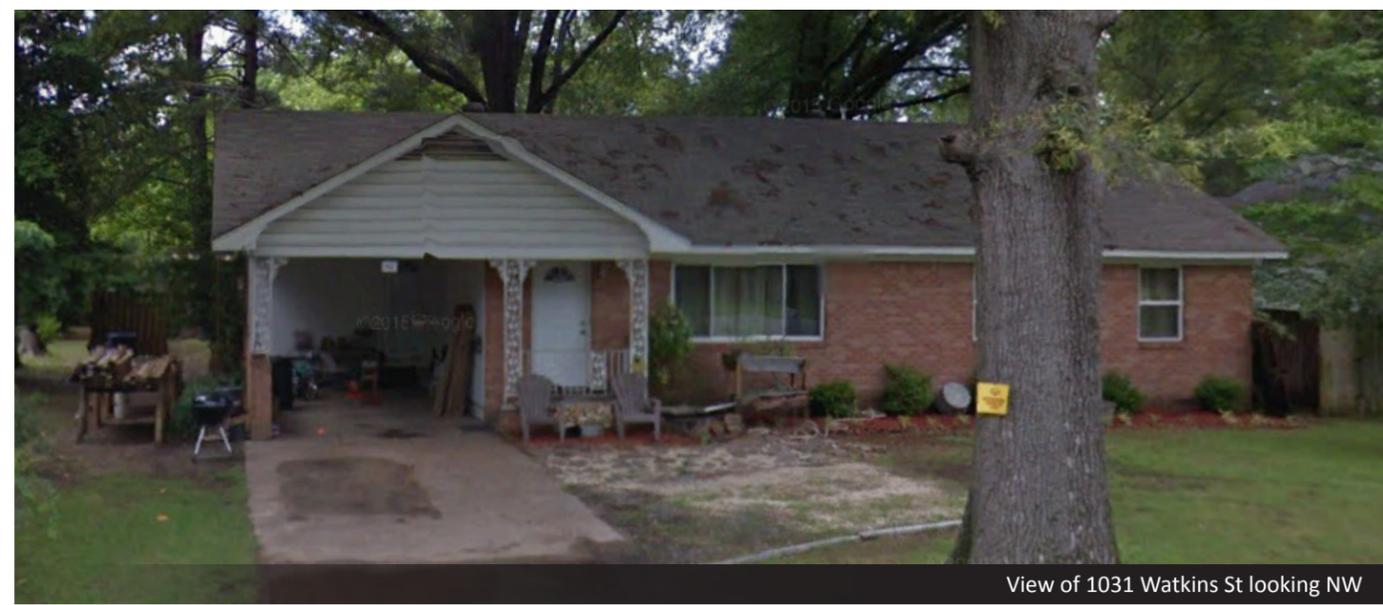
**RECOMMENDATIONS**

The proposed carport enclosure should blend appropriately with the existing residence. Staff recommends approval of the enclosure with the following conditions:

1. The carport enclosure and porch addition shall be constructed as shown in submitted plans.
2. Vinyl siding shall be allowed on the enclosure walls.
3. Porch columns minimum of 8 inches in width.
4. Low brick wall may be incorporated into the south side carport enclosure wall with Building Inspector approval.



Applicant provided sketch of proposed modifications



View of 1031 Watkins St looking NW

**C STOBAUGH NEW RESTAURANT (STOBY'S) - 805-817 DONAGHEY AVENUE**

**OLD CONWAY DESIGN OVERLY DISTRICT  
CERTIFICATE OF APPROPRIATENESS  
STOBY'S RESTAURANT  
805-817 DONAGHEY AVENUE**

**APPLICANT/OWNER**  
David and Patti Stobaugh  
47 Lakeview Dr  
Conway AR 72032

**SITE**  
**Location.** 805-817 Donaghey Avenue

**Site Area.** 1 acre ±

**Present Zoning.** O-2 (Quiet Office). The property is within the Old Conway Design Overlay Suburban District.

**Abutting Zoning.** S-1 (Institutional), R-2A (Large Lot Duplex), R-1 (Single Family Residential) in the Old Conway Design Overlay Suburban District.

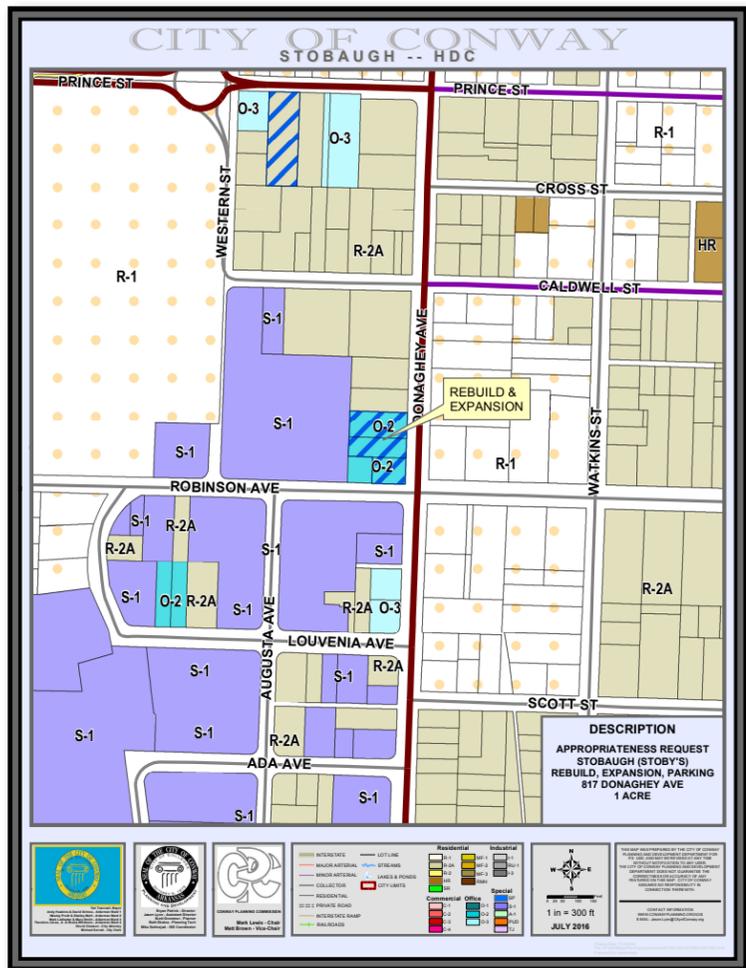
**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay Suburban District at the northwest corner of Robinson and Donaghey Avenues. It is bounded Conway Regional Hospital, and single family residences in tudor revival, minimal traditional, ranch, and Queen Anne styles.

**General Description of Property and Proposed Development.** The applicant is proposing to construct a new restaurant to take the place of the fire destroyed restaurant. The house on the north side of the campus will be demolished to make way for parking improvements and better traffic circulation.

**Setbacks.** Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 80% to 110% of the average area front setback. The front setback will basically remain in the same location as the former Stoby's structure at approximately 38 feet from the curb. Likewise, the south side setback will remain in the same location. The north side and west rear setbacks are well over the typical requirements.

**Spacing.** Established spacing distance pattern between area structures. Spacing is similar to the original location and fits within the neighborhood spacing pattern.

**Lot Coverage.** The Old Conway District allows up to 60% impervious lot coverage. The Old Conway Transitional Zone allows a range of 80% to 100% impervious. The proposed impervious area percentage is around 73%. This is due to the amount of parking and wide sidewalks. The property is shown in the Overlay District as "Suburban", however, the property could be considered "transitional". The Donaghey corridor in general is an area undergoing a transition from single family residential to a more urban university oriented service district.

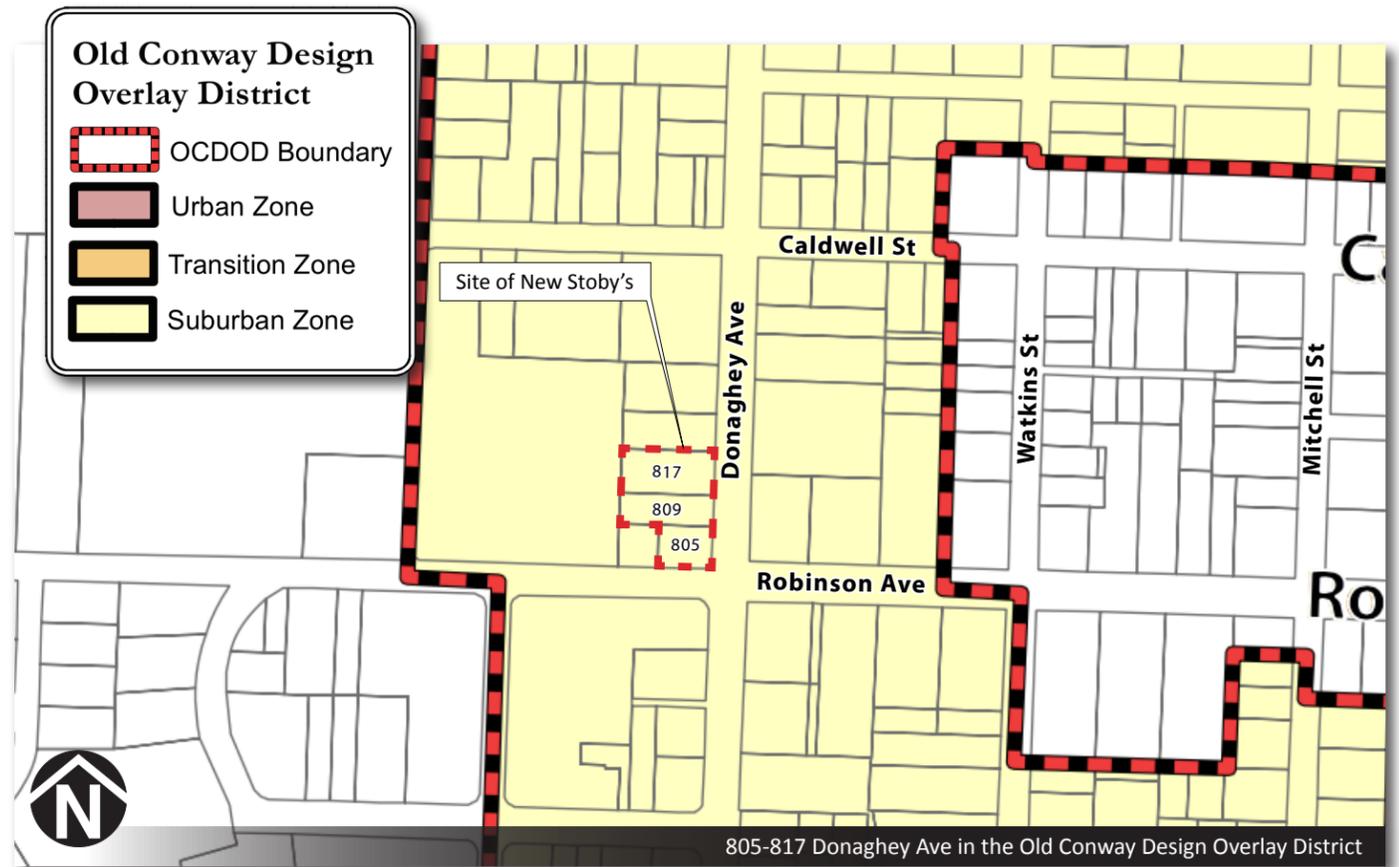


**Orientation.** The direction in which the front of a building faces. The restaurant's primary facade will face Donaghey Avenue. A secondary facade faces Robinson Avenue.

**Alley.** There are no alleys in the block.

**Driveway/Parking.** The existing driveway and parking area is not an ideal situation as it was created over the years as Stoby's popularity increased and land became available. The existing parking from Robinson and Donaghey is a continuous curb cut. This will be replaced with a wide sidewalk and landscaping. Well defined curb cuts will be placed on the north side of the property on Donaghey and the middle of the property on Robinson. The pickup window and drive aisle are moved to the rear. This new vehicle circulation pattern will present a much better traffic flow. Additional landscaping or a low wall will be needed along Donaghey to screen the parking area.

**Sidewalks.** There are no existing sidewalks along Donaghey or Robinson Avenues. Sidewalks will be improved to a 12 foot wide sidewalk along Donaghey and a 5 foot wide sidewalk along Robinson. These sidewalks will make the property much more pedestrian friendly. The wide Donaghey sidewalk also fits into the vision of a pedestrian friendly urban streetscape as shown in the Donaghey Corridor Study.



**Fences.** There appears to be a fenced area on the south side of the new restaurant. The applicant can give more details at the meeting.

**Tree preservation.** There is a large oak tree on Donaghey and two large trees on the west side of the parking lot. These existing significant trees would appear to be unaffected by the new restaurant and parking.

**MASSING**

**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The overall size of the new restaurant will be slightly larger than the previous structure. Through the use of wall plane breaks and scaling of the structure's sections, the new restaurant fits into the scale of area development.

**Height.** The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. The overall height and eave lines will be similar to the original restaurant. A new section on the north has a slightly higher ridge line, but is not out of proportion with the main structure.

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The new restaurant's width as seen from Donaghey will be wider than the previous structure. The horizontal nature has been lessened through the use of appropriately scaled "sections". This sectioning retains the residential nature of the structure.

**Directional expression.** Measurement of the height to width ratio of a structure's elevation. The height/vertical expression of the restaurant is appropriate.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The restaurant's under roof footprint is appropriate.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The restaurant has a sufficient number of wall plane breaks and sectioning creating a more residential feel and adding an appropriate level of complexity.

**Façade, wall area, rhythm.** Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. The new restaurant has retained the original appearance with gables and window locations. Original window and gables have been mimicked in the additional dining area on the north side. Additional windows have been added to the north and south elevations. The west elevation is blank with the exception of the pick up window. This wall will be the kitchen and prep areas and is largely hidden from the public view. Additional windows or detailing could be added to this elevation if possible.

**DESIGN ELEMENTS**

**Style.** The style should compliment area structures. The overall style of the proposed restaurant is similar to that of the original structure. The original structure began as a house that was remodeled and transformed into a restaurant. Therefore, the style likely began as small tudor revival cottage. The new

restaurant continues this character and is appropriate with surrounding structures.

**Entries, Porches, and Porticos.** The front Donaghey facade entry is basically the same. There is a door shown on the south elevation that is assumed to be an employee entrance. There is an additional door on the north elevation possibly for dining room entry.

**Doors and windows.** Doors and windows are proposed as noted above. The style of the doors and windows mimic the original restaurant. Although these windows and doors are not of a traditional nature, they have taken on a historic significance as part of the original restaurant.

**Awnings.** When new construction uses awnings, traditional awning designs, materials, and placement should be used. Striped awnings similar to the original restaurant are proposed over the windows and doors.

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

**MATERIALS & DETAILING**

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The restaurant will be clad with cement board siding. The trim is simple but reflective of area residences.

**Shutters.** No shutters are proposed.

**Roof.** The roof will be asphalt composition.

**Decks/Plaza Space.** No decks or plazas are shown unless the fenced area on the south side of the structure is a patio area. The applicant can supply additional details at the meeting.

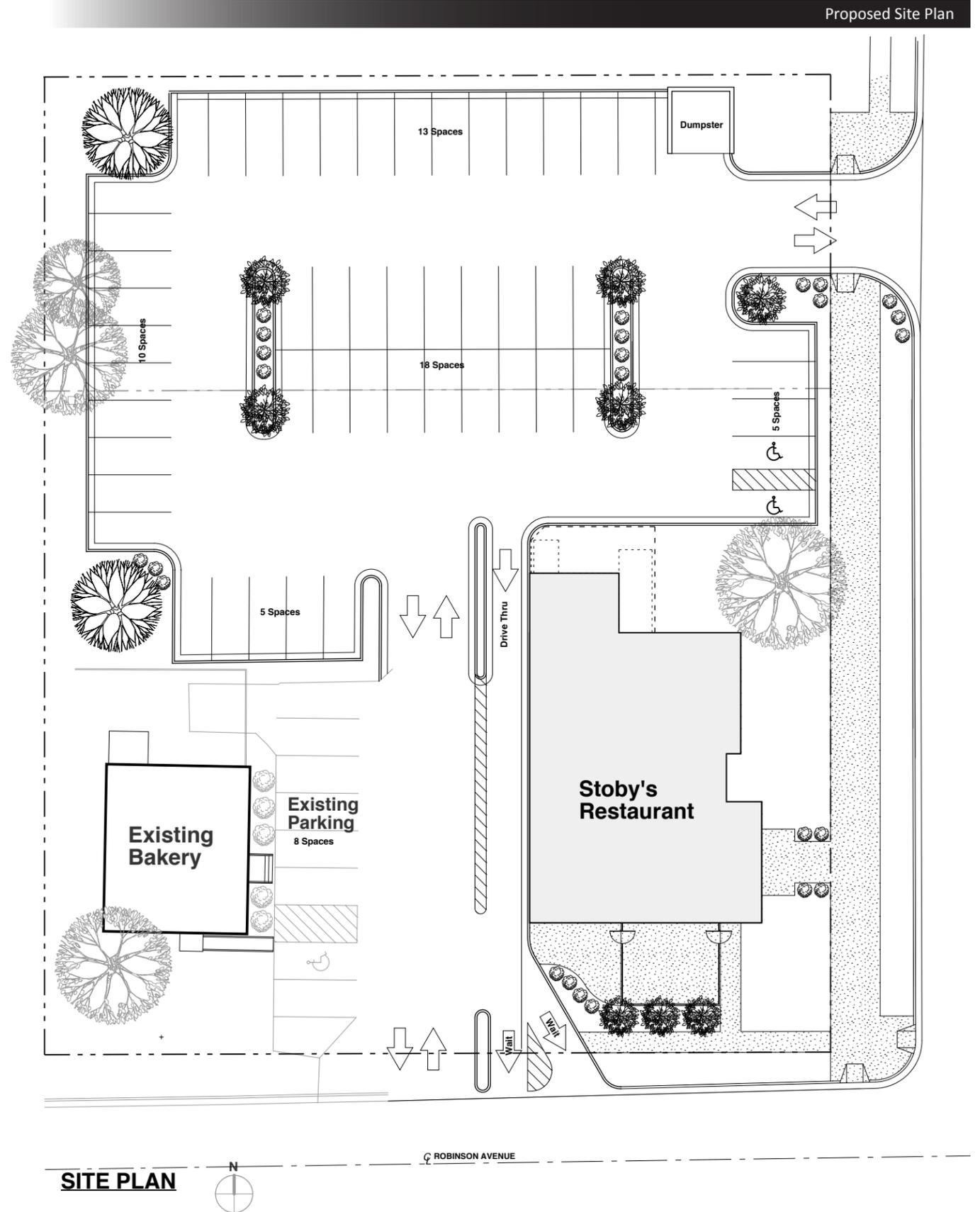
**Skylights.** None are shown.

**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. HVAC equipment location is not shown on the site plan.

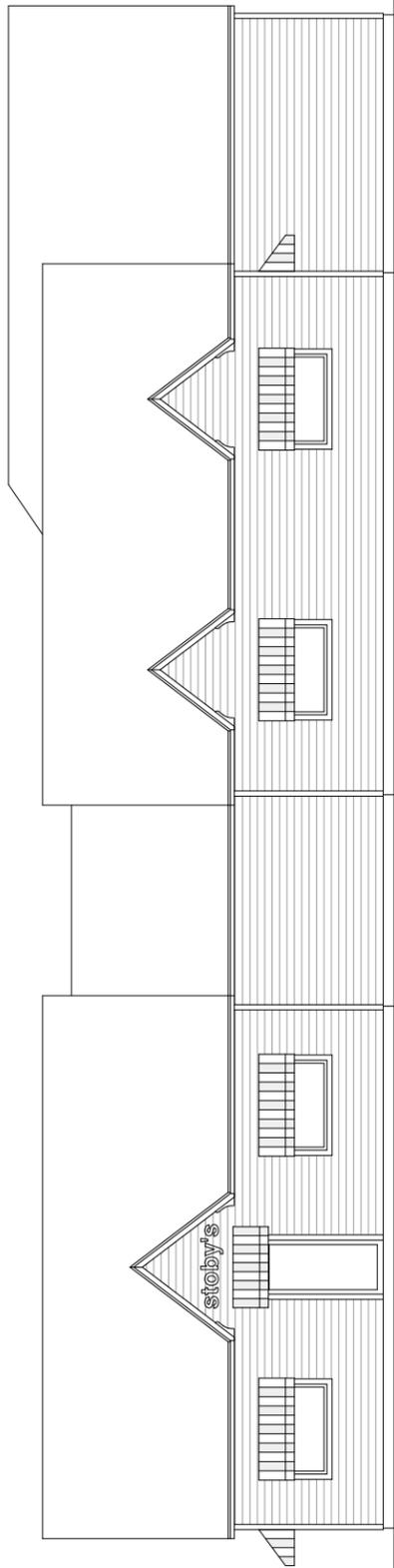
**RECOMMENDATIONS**

The proposed new restaurant is scaled appropriately to blend with area residences. The parking area is also expanding but will be appropriately screened. Additional landscaping will be required as part of the Planning Staff development review process. The new construction will fit into the vision of the Donaghey Corridor Study. Staff recommends approval with the following conditions:

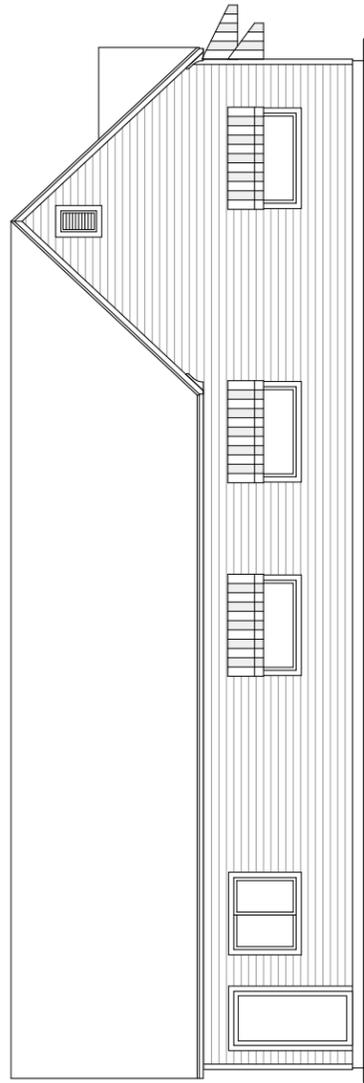
1. The restaurant and parking area shall be constructed as shown in submitted plans.
2. Siding shall be Hardiboard or similar cement siding.
3. Additional windows or detailing on the west elevation?
4. Screening of the parking spaces along Donaghey is required with landscaping or a low wall.
5. HVAC units shall be visually located away from streets or screened by landscaping.



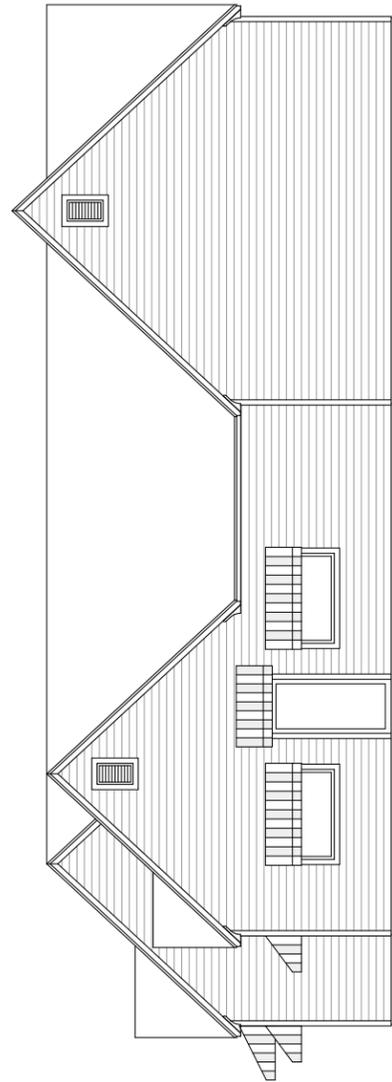
Exterior Elevations



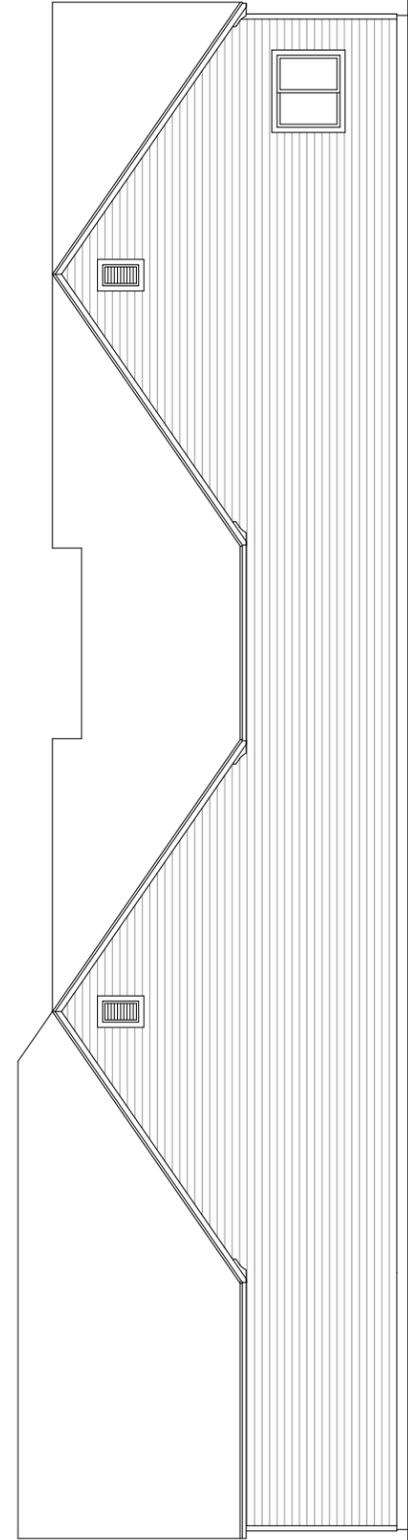
**EAST ELEVATION**  
1/4"=1'-0"



**SOUTH ELEVATION**  
1/4"=1'-0"



**NORTH ELEVATION**  
1/4"=1'-0"



**WEST ELEVATION**  
1/4"=1'-0"

